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Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58

Project Information

Project Name: San Juan Housing

Responsible Entity: Sacramento Housing and Redevelopment Agency

Grant Recipient (if different than Responsible Entity):

State/Local Identifier: The project site is comprised of eight parcels located at 5700 and 5716 Stockton Blvd., and 5258, 5266, 5280, 5300, 5320 and 5340 Young Street, in the City of Sacramento (APNs: 260-0073-003, 260-0073-014, 260-0073-017, 036-0073-004, 026-0073-005, 026-0073-006, 026-0073-007, and 026-0073-008).

Preparer: Sacramento Housing and Redevelopment Agency

Certifying Officer Name and Title: LaShelle Dozier, Executive Director

Grant Recipient (if different than Responsible Entity):

Consultant (if applicable): Gail M. Ervin, Ph.D., NCE

Direct Comments to:

Stephanie Green, Environmental Coordinator Sacramento Housing and Redevelopment Agency 801 12th St., Sacramento, CA 95814 Email: sgreen@shra.org or Telephone: 916-440-1302

Project Location:

The proposed 5.9-acre project site is located at 5700 and 5716 Stockton Boulevard, and 5258, 5266, 5280, 5300, 5320 and 5340 Young Street, in the City of Sacramento (APNs: 026-0073-003, 026-0073-014, 026-0073-017, 026-0073-004, 026-0073-005 026-0073-006 026-0073-007 026-0073-008).

The USGS Quadrangle is Sacramento East, California. The project is within Township 8N, Range 5E and Section 28.

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The proposed project will provide a total of 183 affordable multifamily housing units; 25 units will be located on parcels located in the City of Sacramento while the remaining 158 units will be located on parcels located in the County of Sacramento. The proposed site is comprised of eight (8) parcels that total approximately 5.9 acres. The site is configured on the City/County jurisdictional line and a telecom easement. The project design is proposed to maximize density, while maintaining a strong sense of community among the residential buildings without compromising the project's livability for families. The proposed project would be constructed and financed in two separate phases.

Phase I of the project would construct eleven 3-story tuck under residential buildings, a community building with residential units above it, and a mixed-use building. This Phase would provide 113 new affordable housing units. The 113 units would be comprised of 37 one-bedroom units, 43 two-bedroom units, and 33 three-bedroom units.

Community indoor services would include a community room. Community outdoor services would include a courtyard with amenities, including a swimming pool, for residents to encourage community engagement and socializing. Landscaping would be designed with drought tolerant plants and large shade trees along the streets.

The community building would be constructed along Young Street at the center of the development. A project's goal is that the community building would help encourage socializing and engagement between the new community development and the existing residential neighborhood. The building would include a large multipurpose room that would extend outside into a central green space.

Phase II of the project would construct an additional 70 units, a community room, and an office. The developer will construct and finance this phase in the future, date undetermined at this time.

The building exterior design elements along Stockton Boulevard would be designed to reflect the aesthetic of the adjacent buildings along the boulevard. The ground floor of the buildings along Stockton Boulevard would be recessed and transparent to allow for activity from inside the building to have a feeling of interaction with the street. Along Young Street, the elevation of the buildings and building exterior elements would be less massive to reflect the transition from commercial buildings to the residential neighborhood. The units would be designed to be energy efficient by minimizing ducting, utilizing a radiant barrier in the attic, and using roof trusses with a heel to provide high roof insulation and cross ventilation.

The project would include a total of 141 uncovered surface vehicle parking spaces on site and 3 motorcycle parking stalls. Parking for the community is provided through on-site tuck-under covered parking, on-site surface parking, and on the private internal street. The onsite tuck-under covered parking will primarily serve the residential residents. By utilizing the tuck under design, views of parking stalls

will not be prominent. A significant number of shade trees at regular intervals will shade the surrounding street parking. Bike parking is supplied for resident and public use per the city TND standards.

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

The proposed project purpose was listed by SHRA in the Request for Proposals (#2036-DD). The purpose of the project is to:

- 1. Provide affordable housing opportunities to low- and moderate-income residents.
- 2. Make use of underutilized lots by building quality housing.
- 3. Increase the supply of housing in Sacramento.
- 4. Dispose of vacant lots throughout the City and County of Sacramento.
- 5. Complement and enhance the existing style and character of the neighborhood through design.
- 6. Meet applicable City and County Design Guidelines.
- 7. Maximize private capital.
- 8. Achieve local participation, through development partners, contractors, or suppliers.
- 9. Engage with the community residents, neighborhood, and business associations.

In addition, the project fulfills SHRA's Multifamily lending and Mortgage Revenue Bond Policies, Subsection 1.1.(2)(i), new construction of permanent supportive housing and homeless housing and Subsection 1.1(2)(iii), Workforce housing (30% AMI to 60% AMI).

The proposed project is comprised of both County and City parcels. For the County, the project is consistent with the 2021-2029 Housing Element Goals and Strategies for the County and meets the following strategies:

- HE 1.2.1 The County will promote and facilitate the build-out of vacant and underutilized urban land through infill and reuse activities, as appropriate, for housing.
- HE 1.2.2 The County will ensure that infill projects are integrated into the surrounding neighborhoods and communities to the greatest extent feasible.
- HE 1.2.4 The County will encourage locating multiple-family projects near public transportation, shopping, recreation, and other amenities.
- HE 4.1.8 The County will support the development of housing to meet the needs of large households.
- HE 5.2.1 The County will continue to implement its affordable housing program.
- HE 5.2.3 The County will support programs that provide assistance to developers who construct affordable rental units.
- HE 5.2.7 The County will continue to implement a density bonus ordinance that provides for a greater number of dwelling units and other incentives in exchange for housing units affordable to lower income households. This ordinance will be amended to comply with State law.

In addition, the project meets the City needs listed in the 2021-2029 Housing Element. The project complies with the following goals listed in the Housing Element:

Goals H-1.1.1 Sustainable housing practice

- H- 1.4 The City shall facilitate infill housing along commercial corridors, near employment centers, near high-frequency transit areas, and in all zones that allow residential development as a way to revitalize commercial corridors, promote walkability and increased transit ridership, and provide increased housing options.
- H-2.1 The City shall ensure that there are sites zoned appropriately for affordable housing in each of the City's 10 community plan areas, especially high resource areas.
- H-2.3 The City and SHRA shall assist affordable housing developments through site identification, direct funding, supporting funding applications, land donation, expedited permit review, and other incentives.

- H-4.2 The City shall invest in historically underserved communities, as described in the 2040 General Plan Update, to transform racially and ethnically concentrated areas of poverty into areas of opportunity, while working to promote housing stability and provide new stable housing opportunities for current residents to stay and enjoy the neighborhood investments.
- H-8.3 The City shall encourage the development, rehabilitation, and preservation of accessible housing, particularly in neighborhoods that are accessible to public transit, commercial services, and health and community facilities.

Existing Conditions and Trends [24 CFR 58.40(a)]:

The project site consists of eight parcels comprising approximately 5.9-acres that contains weedy vegetation, trees, and asphalt. A portion of the site was once used as the San Juan Motel and Mobile Home Park; however, currently the site is vacant and contains no buildings. The San Juan Motel sign can still be found on the eastern side of the property near the main entrance; this sign will remain.

Driveway access to the property is located on the eastern side of the property via Stockton Boulevard. Around the perimeter of the project is a metal fence that was installed to prevent trespassing on the site. The access gate to the site is locked.

The site is bordered by Young Street and Stockton Boulevard. On the southern perimeter of the site the project shares a border with vacant residential lots and commercial uses. On the western perimeter the site shares a border with the Fruitridge Glen Apartments. Across Young Street to the north are single-family residential homes. Across Stockton Boulevard to the east is a shopping center, including retail, restaurants and a bank.

The area has good regional linkage via local freeways (Highway 99) and public transportation is provided by Sacramento Regional Transit at a bus stop located northeast and southeast of the site. Stockton Boulevard is considered a high quality transit corridor, and therefore increased densities along the corridor are encouraged.

Funding Information

Grant Number	HUD Program	Funding Amount
M-23-DC-06-0211	HOME (County) Program Income	\$4,300,000

Estimated Total HUD Funded Amount:

2023 County HOME Program Income - \$4,300,000

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]:

Total cost: \$22,700,000

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of

approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors : Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE OR and 58.6	DERS, AND	REGULATIONS LISTED AT 24 CFR 50.4
Airport Hazards 24 CFR Part 51 Subpart D	Yes No	The proposed project is located approximately 4.1 miles away from the closest civilian airport (Sacramento Executive Airport) and is not within a Runway Potential Zone/ Clear Zone (RPZ/CZ) or Accident Potential Zone (APZ). Exhibit 2-A
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No	The proposed project is located 105 miles inland and is not within a coastal zone. California does not contain protected coastal barrier resources.
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes No	Exhibit 2-B The project site is located within Zone X, an area of Reduced Flood Risk, per FEMA panel 06067C0190H and 06067C0195H effective 8/16/2012. No flood insurance required.
	DEDS AND	Exhibit 2-C REGULATIONS LISTED AT 24 CFR 50.4
& 58.5	DERS, AND	REGULATIONS LISTED AT 24 CFR 50.4
Clean Air Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	Yes No	The project would be in an identified non- attainment area for PM2.5 (moderate) and 8-hour ozone (severe). Sacramento Air Quality Management District (SMAQMD) has established air quality construction thresholds for the priority pollutants. The SMAQMD recommends the use of California Emissions Estimator Model (CalEEMod) to analyze construction and operation emissions for land use development projects. CalEEMod V2022.1.1.2 was used to estimate average daily construction and operation emissions. For each phase, inputs to the model included the construction year, total expected duration, proposed equipment usage, and land-use subtype apartments mid-rise. Other model inputs

			such as building area, landscape area, and lot acreage were input to the model. The project schedule and equipment usage assumptions used within the model assumed the project would be constructed over a period of approximately 24 months, or an estimated 528 construction workdays (based on an average of 22 workdays per month). Average daily emissions were computed by dividing the total construction emissions by the number of construction days. Based on the CalEEMod results, the project phases and overall project emissions fall well beneath the thresholds of significance for both construction and operational emissions. Exhibit 2-D
Coastal Zone Management Coastal Zone Management Act, sections 307(c) & (d)	Yes	No	The proposed project is located 105 miles inland and is not within a coastal zone. Exhibit 2-E
Contamination and Toxic Substances 24 CFR Part 50.3(i) & 58.5(i)(2)	Yes	No	The site is being fully characterized through an EPA Brownfields Grant and remediation is being conducted under Sacramento County Environmental Management Department (SCEMD) oversight. The Sacramento Housing and Redevelopment Agency (SHRA) is preparing a site investigation work plan to support the remedial planning activities and mitigative measures, if warranted, for the Site to accommodate the planned land use. SCEMD has provided a letter indicating that going forward, the SCEMD is anticipated to act as the lead regulatory agency overseeing the investigation and any corrective actions that may be necessary. SCEMD has thus far accepted the planned approach to the project and will continue to review work plans, site. characterization results, and any corrective actions that might be necessary. It appears likely that residential standards can be met for the currently identified chemicals of concern at the portions of the site where housing is being proposed. SCEMD anticipates issuing a "no further action" letter when it has been demonstrated that the investigation and corrective actions have been successfully completed. Links to the regulatory documents are provided in Exhibit 2-F.
Endangered Species	Yes	No	The project site consists of grass vegetation, asphalt, and trees.

Endangered Species Act of 1973, particularly section 7; 50 CFR Part	\boxtimes		No federally listed species were observed during the site visit on April 6, 2021.
402			A review of special status species databases including the California Natural Diversity Database, United States Fish and Wildlife Service Information for Planning and Conservation Database, and the California Native Plant Society's Inventory of Rare and Endangered Plants of California was completed in order to identify special status species that may occur within the project area.
			Based on the results of this review, its location within an urbanized area and the site visit, no habitat for special status species is present within or adjacent to the project area. However, existing trees on and adjacent to the site could provide nesting habitat for birds protected under the Migratory Bird Treaty Act. Therefore, the developer must incorporate mitigation measures to protect migratory birds into the building plans. Exhibit 2-G
Explosive and Flammable	Yes	No	No above ground storage tanks were identified
Hazards		\square	within a 1-mile radius around the project area.
24 CFR Part 51 Subpart C			Exhibit 2-H
Farmlands Protection	Yes	No	The proposed project site is fully developed and is
Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658			not currently used for farming. According to the California Department of Conservation Division of Land Resource Protection Farmland Mapping and Monitoring Program, the site does not meet the definition of prime or unique farmlands and is not of statewide or local significance. Exhibit 2-I
Floodplain Management	Yes	No	The project site is located within Zone X, an area
Executive Order 11988, particularly section 2(a); 24 CFR Part 55			of Reduced Flood Risk, per FEMA panel 06067C0190H and 06067C0195H effective 8/16/2012.
rait 55			Exhibit 2-J
Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	Yes	No	The Record Search showed that there were no historical buildings within the vicinity of the project area. No structures within the indirect APE appear to be eligible for listing on the National Register and therefore no historic structures would be affected by the proposed project. The Sacred Lands File (SLF) was positive. Native American tribes were initially consulted by letter,

and interest in consultation. The Wilton Rancheria, the United Auburn Indian Communi of the Auburn Rancheria (UAIC), the Shingle Springs Band of Miwok Indians, and the Buena Vista Rancheria of Mewuk Indians requested th they be notified if any indevertent discoveries occur during excavation of the project. The Wilton Rancheria tribe also requested a tribal monitor be present on the site during excavatior due to a cultural resource that they identified ne the site. The log of responses is provided as Exhibit 1-A. Mitigation measures are identified the Mitigation Monitoring Plan. Noise Abatement and Control Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B Yes No Yes No Noise levels in the project area are defined primarily by traffic on Stockton Boulevard. The average day/hight Sound levels are 73 dBA, whi falls into the Normally Unacceptable range, according to HUD Noise Standards. A noise stu concluded that an exterior-to-interior noise leve reduction of 30 dBA would be required to meet HUD Standards. The application of specific design elements to commercial/residential building facades facing Stockton Boulevard wil be necessary to achieve this reduction, which ar outlined in the noise study. The developer must incorporate the require mitigation measures into the building plan. Sole Source Aquifers Yes No Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149 Yes No			F
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Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	amended by the Quiet Communities Act of 1978; 24 CFR		primarily by traffic on Stockton Boulevard. The average day/night sound levels are 73 dBA, which falls into the Normally Unacceptable range, according to HUD Noise Standards. A noise study concluded that an exterior-to-interior noise level reduction of 30 dBA would be required to meet HUD Standards. The application of specific design elements to commercial/residential building facades facing Stockton Boulevard will be necessary to achieve this reduction, which are outlined in the noise study. The developer must incorporate the require mitigation measures into
Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149Image: Construction is a problem of the image of th	Sole Source Aquifers	Yes No	
Exhibit 2-	as amended, particularly section		apply to the proposed project since there will be new construction; however, according to the Environmental Protection Agency (EPA) SSA interactive online map, the project location does
Wetlands Protection Yes No According to the National Wetlands Inventory	Wetlands Protection	Yes No	According to the National Wetlands Inventory
Executive Order 11990, particularly sections 2 and 5			interactive online map, the proposed project location is not located on a wetland identified by the U.S. Fish and Wildlife Services. In addition, no wetlands were observed during the biological

Wild and Scenic Rivers Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	Yes	No X	Elder Creek is 1.3 miles south of the project and is not considered a National Wild and Scenic River System (NWSRS) river. The closest Wild and Scenic River is the American River, nearly 3 miles north. Therefore, the proposed project would have no effect on wild and scenic rivers in the vicinity. Exhibit 2-O
ENVIRONMENTAL JUSTICE			
Environmental Justice Executive Order 12898	Yes	No	The proposed project will provide affordable multi-family housing. The site is currently vacant. The EA has determined that there is a potential for noise and hazardous materials to have a potential effect on future residents of the proposed project. However, the proposed project will be constructed adhering to noise and hazardous materials mitigation measures that have been agreed to by the developer and the City, to ensure that human health and the environment are protected during and after construction of the affordable housing units. The EPA EJScreen Reports were run for the
			following radii from the project site: 0.125, 0.25, 0.50, 0.75, and 1.00 miles. Two factors to consider are how Environmental Indicators (EI) change, increase or decrease, as the distance from the project site changes, and how project site EI levels compare to the State, EPA Region, and U.S. levels. A third factor is how the project site ranks in respect to the 80th percentile, the EPA's recommended threshold for environmental considerations.
			The data was compared at each radius to determine if there were any significant differences between the immediate project site area (0.125 mile radius) and the surrounding areas and between the project site and the state, EPA Region, and U.S. averages. Environmental Indicators (EI): Of the twelve EI, six EI (Particulate, Air Toxics, Respiratory Hazards, Superfund, RMP, and Hazardous Waste) exceed state, EPA Region, and U.S. averages as well as exceed the 80th percentile compared to at least one area. Most of these factors stay

relatively constant as the distance from the site
increases, which indicates that the site is not
comparatively "worse" environmentally than the
surrounding area up to one mile.
Demographic Indicators (DI): The
Demographic Index is a composite of the "People
of Color Population"
(POC) and "Low Income Population" (LI) and
stands at 64% for the site. The percentages of
populations that are Linguistically Isolated and
Under Five, remain well above State, Regional
and national demographics as well as U.S., EPA
Region, and state averages. The only EI that does
moderately drop with increasing distance is the
percentage of people linguistically isolated. Based
on the results of this analysis, we can conclude
that while the project site is located in an area
with more susceptibility to risk factors, the project site does not suffer from disproportionately
adverse environmental effects relative to the
community at large. Additionally, the project will
benefit the community by providing two 3-story
tuck under residential buildings, a community
building with residential units above it, and a
mixed-use building. The project would construct
a total of 148 new affordable housing units. The
project design is proposed to maximize density
and children-oriented open space, while
maintaining a strong sense of community among
the residential buildings without compromising
the project's livability for families.
Exhibit 2-P

Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features, and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable, and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. All conditions, attenuation or mitigation measures have been clearly identified.

Impact Codes: Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact May require mitigation

(4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
LAND DEVELOP		Impact Divindution
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	For the parcels in the County of Sacramento, the proposed project is zoned as SPA-Special Planning Area Stockton Boulevard (Central) and RD-20 Multiple family residential. For the parcels in the City of Sacramento, the proposed project is zoned as R-3 Multi-Family Residential. The site designated as Medium Density residential and Mixed-Use Commercial under the General Plan. The project proposes to construct affordable housing units on vacant infill parcels. The use is consistent with the County's requirements for the SPA and the City's requirements for Multi-Family Residential, as well as the scale and design of development in the area. Refs 3,4
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	The topography is relatively flat throughout the site. The project construction must comply with City's and County's erosion and sediment control ordinance and storm water management and discharge control ordinance per the City and County of Sacramento Zoning Ordinance.
		Ref 3
Hazards and Nuisances including Site Safety and Noise	2	No above ground storage tanks were observed in a 1-mile vicinity of the project site. All soil contaminants will be remediated to appropriate standards, and any necessary vapor barriers will be included in the construction plans as directed by the SCEMD. The project will include site safety design and construction will comply with mitigation measures to reduce noise.
		Exhibit 2-F and 2-L
Energy Consumption	2	Electric services will be provided by Sacramento Municipal Utility District (SMUD). Natural gas services would be provided by Pacific Gas & Electric Company (PG&E). The project will meet all minimum construction standards for California Tax Credit Allocation Committee (CTCAC) including sustainable building method and energy efficiency requirements. Ref 5

Environmental Assessment Factor	Impact Code	Impact Evaluation
SOCIOECONOM	IC	
Employment and Income Patterns	1	Temporary construction jobs will be generated during construction of the project, and a permanent full-time manager will be created on the site.
		Ref 1
Demographic Character Changes, Displacement		The project will provide 183 new family units for low-income families and individuals, as well as commercial. These uses are consistent with the land uses and demographics of the neighborhood. The site is vacant; therefore, no families, individuals or businesses will be displaced during construction.
		Ref 1

Environmental	Impact	
Assessment Factor	Code	Impact Evaluation
COMMUNITY FA	CILITIES	S AND SERVICES
Educational and Cultural Facilities	2	The project proposes to construct 183 residential housing units for low-income families and individuals. The Sacramento City Unified School District serves the project site; the site is served by Ethel I. Baker Elementary School, Will C. Wood Middle School and Hiram Johnson High School. Residential growth within Sacramento continues to put pressure on schools to expand their facilities in order to accommodate residents in the area. The City and County has prepared for this and has set goals and polices to support the districts, in order for districts to provide the highest possible quality education to their residents.
Commercial Facilities	2	Refs 4,11 The project area is surrounded by commercial businesses. Adjacent to the project area is a Wells Fargo, restaurants, Firestone, and a nail salon. North of the project area is a Rite Aid and a South Area Marketplace, and commercial facilities are located throughout the area, with accessible public transit to further services. Ref 1
Health Care and Social Services	2	WellSpace Health Hiram Johnson Community Health Center is approximately 2.1 miles northeast. Elica Health Center-Franklin is approximately 1.7 miles west and is a full-service medical center. Ref 1
Solid Waste Disposal / Recycling	2	The project construction would generate construction waste and removal of debris, and the residential and commercial uses would generate mixed waste and would be managed by the County. Construction waste would be disposed of at the Sacramento County Landfill facility on Kiefer Road, which is the primary municipal solid waste disposal facility in

		Sacramento County. Residential waste will be transferred by franchised haulers authorized by the Sacramento Solid Waste Disposal Company to collect commercial garbage and commingled recycling within the unincorporated area of the County. Ref 8
Waste Water / Sanitary Sewers	2	Wastewater is conveyed through the Sacramento Area Sewer District sewer pipelines to the Sacramento Regional Wastewater Treatment Plant (SRWTP). As of 2010, the SRWTP system received 151 million gallons per day (mgd) with a maximum capacity of 181 mgd. The SWRWTP has determined it has enough long-term capacity for general plan buildout within the region due to increased water conservation efficiencies and requirements, and a continuing reduction in per capita wastewater demand. Refs 4, 9
Water Supply	2	Water will be provided to the project site by the City of Sacramento Department of Utilities. The City has sufficient water rights and supply to meet project. Ref 4
Public Safety - Police, Fire and Emergency Medical	2	Police: The Sacramento City Police Department and the County Sheriff's Department would provide police protection services to the project site. The City's police department is located approximately 1.9 miles west of the site. The County's Sheriff's Department is located approximately 2.3 miles south of the site. Project construction and occupancy of 183 residential units on an infill parcel would have a negligible effect on current service demand. Fire: Sacramento Metropolitan Fire Department. The closest station to the project site is Fire Station 10, located approximately 1.2 miles east from the project site. Project construction and occupancy of 183 residential units on an infill parcel would have a negligible effect on current service demand. http://www.cityofsacramento.org/Fire/About/Station- Information Emergency Medical Services: Sacramento Metropolitan Fire District. All SFD Engine and Truck Companies are utilized as EMS first responders and staffed with Firefighter-EMTs and/or Firefighter-Paramedics. Project construction and occupancy of 183 residential units on an infill parcel would have a negligible effect on current service demand http://www.cityofsacramento.org/Fi
		Refs1,4, 8

Parks, Open Space and Recreation	2	Lawrence Park is located approximately 0.6 miles northwest of the site. Artivio Guerrero Park is located approximately 0.9 miles south of the site. Both parks are within walking distance from the proposed project site. Although the project would increase residential uses that may increase demand for services, the increase would be minor and can be accommodated at the existing parks. A 12,473 sf community center and would be constructed in Phase I. Landscaped grounds include a courtyard outside of the community room. Ref 1
Transportation and Accessibility	2	Sacramento Regional Transit System (RT) provides services to the project area via Bus Routes 51. All routes provide access to major medical centers and other commercial facilities in the area.
		Refs 1,10

Environmental Assessment Factor	Impact Code	Impact Evaluation
NATURAL FEATUR		
Unique Natural Features, Water Resources	2	The site is comprised of vacant lots filled with weedy vegetation. No unique natural or water resources features are on the project site. Exhibit 2-G, 2-N, 2-O
Vegetation, Wildlife	2	The site is comprised of vacant lots filled with weedy vegetation and trees. No unique vegetation or wildlife were observed on the project site. A Tree Survey was conducted, and a total of 15 trees were surveyed on the project site. Trees surveyed on site included 5 elm (<i>Ulmus sp.</i>), 1 eucalyptus (<i>Eucalyptus sp.</i>) 2 privet (<i>Ligustrum sp.</i>) 1 almond (<i>Prunus dulcis</i>) 1 box elder (<i>Acer negundo</i>), 5 black locusts (<i>Robinia pseudoacacia</i>). The only tree native to the region is the box elder which is nearly dead. If any trees are removed, the tree canopy loss incurred must be mitigated by creation of a new tree canopy. If this cannot be feasibly done, project proponents shall contribute funds to
		Greenprint proportional to the tree canopy loss. Exhibit 2-G
Other Factors: Sustainability and Climate Change, Energy Efficiency	1	The proposed project has been reviewed for consistency with the goals, policies and targets of the Sustainability Climate Action Plan, the City's 2035 General Plan, and the County's General Plan of 2005-2030. If approved, this project will advance the goal, policy, and target of goal number one – Energy Independence, specifically by reducing the use of fossil fuels and providing long-term affordable housing and a reduction in vehicle miles travelled through infill housing development.
		Climate change is a crucial criterion to consider when planning for future conditions. The proposed project lies within

Sacramento, California where within 25 years, under a RCP 8.5 scenario, the following climate projections are expected: 1) a 1.7 degree Fahrenheit increase in annual temperatures, 2) 17 more days that reach above 95 degrees Fahrenheit, 3) 0.3 more days of heavy precipitation per year, and 4) a 0.5-inch increase in average annual precipitation. Increasing annual precipitation contributes to sustained flooding. Increased annual temperatures contribute to droughts and weather-related fatalities. To account for drought risk, landscaping will be designed with drought tolerant plants and large shade trees planted along the streets.
The project will be constructed per CA Green Building Code requirements which establish the highest standards for energy efficiency and water conservation in the nation. The project will be designed to be energy efficient by minimizing ducting, utilizing a radiant barrier in the attic, and using roof trusses with a heel to provide high roof insulation and cross ventilation. Electric services will be provided by Sacramento Municipal Utility District (SMUD). Natural gas services would be provided by Pacific Gas & Electric Company (PG&E). The project will meet all minimum construction standards for California Tax Credit Allocation Committee (CTCAC) including sustainable building method and energy efficiency requirements. Refs 1, 2, 4, 5, 6, 7, 8

Additional Studies Performed:

- 1. HUD Noise Assessment San Juan Opportunity Site. Prepared December 12, 2022, by Saxelby Acoustics for NCE*
- 2. Tree Survey for San Juan Opportunity Site. Prepared May 5, 2021, by NCE for SHRA
- 3. Phase I Environmental Site Assessment San Juan Opportunity Site. Prepared November 18, 2020, by NCE for SHRA*
- Phase II Findings Report San Juan Opportunity Site-Draft. Prepared November 8, 2021, by NCE for SHRA*

Field Inspection (Date and completed by):

1. Field Observation conducted by Catrina Vaz, NCE. April 6, 2021.

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

- 1. Unless otherwise noted, assessments based upon expertise and experience of Gail M. Ervin, Ph.D., NCE.
- 2. California Department of Housing and Urban Development. 2022. "CALGreen" Accessible from: <u>https://www.hcd.ca.gov/calgreen</u>. Accessed on 7/26/2022.
- 3. City of Sacramento. 2022. "Current through Ordinances 2022-0012 "Accessible from: http://www.gcode.us/codes/sacramento/view.php?topic=17 Accessed on 7/26/2022.

- City of Sacramento. 2015. "2035 General Plan" Accessible from: <u>http://www.cityofsacramento.org/Community-Development/Resources/Online-Library/2035--</u> <u>General-Plan</u>. Accessed on 7/26/2022
- City of Sacramento. 2012. "Sustainability Climate Action Plan" Accessed from: <u>https://www.cityofsacramento.org/Community-Development/Resources/Online-Library/Sustainability</u>. Accessed on 7/26/2022
- DeGaetano AT, Noon W, Eggleston KL. (2015). Efficient Access to Climate Products using ACIS Web Services. Bulletin of the American Meteorological Society, 96(2), 173-180. Retrieved from <u>http://journals.ametsoc.org/doi/10.1175/BAMS-D-13-00032.1</u>
- 7. Northeast Regional Climate Center. (n.d.). Applied Climate Information System (ACIS). Ithaca, NY: Cornell University. Retrieved from http://rcc-acis.org
- Sacramento County. 2011. "General Plan of 2005-2030" Accessed from: <u>https://planning.saccounty.net/PlansandProjectsIn-Progress/Pages/GeneralPlan.aspx</u>. Accessed on 7/26/2022
- 9. Sacramento Regional County Sanitation District. "Sacramento Regional Wastewater Treatment Plant." Accessible from: https://www.regionalsan.com/profile/sacramento-regional-wastewater-treatment-plant_ Accessed on 7/26/2022.
- 10. Sacramento Regional Transit. 2022. "Systems Map." Accessible from: http://www.sacrt.com/systemmap/A1.stm. Accessed 7/26/2022.
- 11. Sacramento City Unified School District. 2022. "School Locator". Accessible from: <u>https://saccityusd.maps.arcgis.com/apps/webappviewer/index.html?id=65299203ccef4df4969dc9</u> <u>169f61a424.</u> Accessed on 7/26/2022.

List of Tribes Consulted

- 1. Buena Vista Rancheria of Me-Wuk Indians: Rhonda Morningstar Pope, Chairperson
- 2. Colfax-Todds Valley Consolidated Tribe: Pamela Cubbler. Treasurer
- 3. Colfax-Todds Valley Consolidated Tribe: Clyde Prout, Chairman
- 4. Ione Band of Miwok Indians: Sara Dutschke Setchwaelo, Chairperson
- 5. Nashville Enterprise Miwok-Maidu-Nishinam Tribe: Cosme A. Valdez, Chairperson
- 6. Shingle Springs Band of Miwok Indians: Regina Cuellar, Chairperson
- 7. Tsi Akim Maidu: Grayson Coney, Cultural Director
- 8. Tsi Akim Maidu: Don Ryberg, Chairperson
- 9. United Auburn Indian Community of the Auburn Rancheria: Gene Whitehouse, Chairperson
- 10. Wilton Rancheria: Jesus Tarango, Chairperson
- 11. Wilton Rancheria: Steven Hutchason, THPO
- 12. Wilton Rancheria: Dahlton Brown, Director of Administration
- 13. State Office of Historic Preservation

List of Permits Obtained:

A building permit issued by the City of Sacramento and the County of Sacramento would be required.

Public Outreach [24 CFR 50.23 & 58.43]:

Mutual Housing California has been in direct contact with the City and County elected officials, as well as Stockton Boulevard Partnership about the proposed project.

A Finding of No Significant Impact and a Notice of Intent to Request Release of Funds will be published in a paper of general circulation 15 days before the RROF will be submitted to HUD and HCD to allow public comment on the project. The public will have 15 days to provide comment to HUD and HCD for anyone who wishes to challenge the bases for the FONSI determination.

Cumulative Impact Analysis [24 CFR 58.32]:

The proposed project is an affordable multi-family residential infill development straddling the City\County jurisdictional line. Currently the project site is vacant and contains weedy vegetation, trees, and asphalt. The proposed project will provide a total of 183 affordable multifamily housing units; Phase I of the project would construct 113 units, a community building with residential units above it, and a mixed-use building and Phase II would construct an additional 70 units, an additional community building, a play stage area and a mixed-use building. The project is consistent with County and City zoning and general plan policies. Construction air emissions will be temporary and below SMAQMD thresholds, as are operational emissions, which SMAQMD has determined results in a less than cumulatively significant effect. The project would include a total of 141 uncovered surface vehicle parking spaces on site, 3 motorcycle parking stalls and is within walking distance of bus services. The project is an infill location that lies within a high-quality transit corridor and is within the boundaries of a Metropolitan Planning Organization (Sacramento Area Council of Governments). Stockton Boulevard adjacent to the site provides a high-quality transit corridor with fixed route bus service with service intervals no longer than 15 minutes during peak commute hours. All parcels within the project are within one-half mile of the corridor. Therefore, operational impacts related to traffic and air quality are cumulatively less than significant. There are no sensitive habitats on the site; thus, the project will not result in a cumulative loss of biological resources. Noise levels for the project area exceed federal standards, but effects on new residents will be mitigated by incorporating specific design elements to mitigate noise levels to HUD standards on the facades facing Stockton Boulevard. The project does not displace existing uses and provides affordable housing within the City of Sacramento or Sacramento County. Therefore, the proposed project will result in no cumulatively significant effects on the human or natural environment.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

The proposed project will be constructed on vacant infill land that was identified by the City and County as potential affordable housing in the RFP #2036-DD. SHRA received one response to the RFP from Mutual Housing California. The initial proposal that was received included a total of 116 affordable housing units. SHRA then requested that the developer design an alternative that had an increased density. The new alternative included a total of 148 affordable housing units.

While assessing the development capacity of the San Juan site, Mutual Housing and Mogavero Architects did evaluate a higher density residential component. The findings determined that while physically possible to design a larger project, to do so would require several buildings to be four stories in height, open space to be reduced, or parking to be decreased. It would also add significant construction cost (e.g., elevators) which in turn would make the project less competitive for critical funding from the state TCAC and CDLAC programs. The final preferred alternative removed a childcare facility to provide an additional residential building, resulting in the two-phased project for a total of 183 units.

There are no adverse effects on the human or physical environment associated with the preferred alternative, and there are benefits to the human environment by redeveloping the vacant parcels along Stockton Boulevard and Young Street, providing transit-oriented development, and increasing the supply of affordable housing units.

In addition, site identification for affordable housing has proven to be a major obstacle in providing affordable housing units. Sites zoned appropriately and at reasonable cost are extremely limited within Sacramento County and the City of Sacramento. Furthermore, sites that do not meet cost and zoning criteria are generally eliminated as alternatives. This project site was chosen by SHRA from several potential properties considered based upon feasibility, location, and affordability.

No Action Alternative [24 CFR 58.40(e)]:

The No Action Alternative would leave the parcels vacant with no funding for affordable multifamily housing. All potential adverse effects can be mitigated, therefore there are no benefits to the physical or human environment by taking no federal action for this project. Benefits to the human environment by providing affordable housing in an area facing a housing affordability crisis would not accrue. Benefits to the natural environment through site remediation to residential standards would not occur.

The City and County has determined the project is consistent with all City and County land use plans, policies, and regulations for the project site. Not building on this infill site with good transit access could result in more housing constructed further out in agricultural areas to meet the demand for affordable housing, contributing to urban sprawl, regional traffic congestion and regional air quality problems.

Summary of Findings and Conclusions:

The environmental assessment has determined that the construction of the San Juan Housing project, as mitigated, would have no adverse effect on the human or physical environment. The project is an affordable multifamily housing development on eight parcels. The project would consist of 183 housing units, one community building, and a play stage area . The activities are consistent with adopted plans and policies, and the new development would connect to existing municipal services that the City and County has determined are adequate to serve infill development. The surrounding vicinity has transit access to a full range of commercial, medical, emergency, social and recreational services to serve the future residents. Contaminated soils at the site and ambient noise levels will be mitigated during construction. Measures are in place to address unanticipated discoveries of cultural resources during ground moving activities, and a nesting bird survey is required before construction begins. The project will therefore have a beneficial effect on the quality of the human environment and no adverse effect on the natural environment.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Endangered Species	If any construction activities (e.g., clearing, grubbing, or grading) are scheduled during the bird nesting season

Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402 Migratory Bird Treaty Act of 1918 (MBTA), codified at 16 U.S.C. §§ 703–712	(typically defined by CDFW as February 1 to September 1), the City or approved construction contractor shall retain a qualified biologist to conduct a pre-construction survey of the project area, including a 100-foot buffer, as access is available, to locate active bird nests, identify measures to protect the nests, and locate any other special status species. The pre-construction survey shall be conducted no more than 14 days prior to the implementation of construction activities (including staging and equipment storage). Any active nest should not be disturbed until the young have fledged or under the direction provided by a qualified biologist. Any special status species shall not be disturbed without the direction of a qualified biologist. If an active nest is found during construction, disturbance shall not occur without direction from a qualified biologist.
Vegetation/Wildlife	 The guidelines presented below should be followed to preserve trees to ensure the least impact if they are being integrated into the site plan. Conduct a meeting to discuss these tree preservation guidelines with all contractors and subcontractors and project managers. Prior to any demolition activity on site, identify (tagged) trees to be preserved and install tree protection fencing in a circle centered at the tree trunk with a radius equal to the maximum drip line radius (see table). This fenced area is defined as the tree protection zone. Tree protection fences should be made of chain link with posts sunk into the ground. These fences should not be removed or moved until construction is complete. No soil or above ground disturbance shall occur within the fenced area. No soil, material storage, spoil, waste, or washout water shall be deposited within the fenced areas. Any work that is to occur within the protection zones of the trees should be monitored by a consulting arborist. If injury should occur to any tree during construction, a consulting arborist should be construction or recommended in this report should be performed by an ISA certified arborist or tree worker. For trees to be preserved, the goal of project design should be to avoid grading, compaction, trenching or any other disturbance in the protection zones of the trees. This may require the use of retaining walls, boring trenches under tree root zones or other construction techniques. Where development is necessary within the protection zones of trees, consult with a consulting arborist to

	develop designs/techniques which minimize injury to subject trees.
Noise Abatement and Control Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B	The project site is predicted to be exposed to future exterior noise levels within the normally unacceptable 65-75 dBA DNL range for HUD projects. A noise assessment concluded that in order to reduce interior noise levels below federal thresholds, certain design elements should be incorporated into the project. The specific design elements only apply to the commercial/residential building facades facing Stockton Boulevard. The following noise control measures shall be incorporated into designs to the satisfaction of SHRA before construction begins on the commercial residential building located adjacent to Stockton Boulevard.
	 Building facades shall include use of a 1-coat stucco system. 5/8" interior board on resilient channels shall be used. STC 36 rated windows shall be used. Mechanical ventilation penetrations for exhaust fans do not face toward Stockton Boulevard. Where feasible, these vents should be routed towards the opposite side of the building to minimize sound intrusion to sensitive areas of the buildings. Where vents must face toward Stockton Boulevard, it is recommended that the duct work be increased in length and make as many "S" turns as feasible prior to exiting the dwelling. This separates the openings between the noise source and the living space with a long circuitous route. Each time the sound turns a corner, it is reduced slightly. Flexible duct work is preferred ducting for this noise mitigation. Where the vent exits the building, a spring-loaded flap with a gasket should be installed to reduce sound entering the duct work when the vent is not in use. Mechanical ventilation shall be provided to allow occupants to keep doors and windows closed for acoustic isolation. No PTAC's shall be used. In lieu of these measures, an interior noise control report may be prepared by a qualified acoustic engineer demonstrating that the proposed building construction would achieve the HUD interior noise reduction requirement of 30 dBA
Historic Preservation	requirement of 30 dBA. Avoidance and preservation in place is the preferred manner
National Historic Preservation Act of 1966, particularly sections 106 and	of mitigating impacts to tribal cultural resources and will be accomplished by several means, including:
110; 36 CFR Part 800 TCR-1: Avoidance Measure	 Planning construction to avoid tribal cultural resources, archaeological sites and/ or other resources; incorporating sites within parks, green-space or other open space;

covering archaeological sites; deeding a site to a permanent conservation easement; or other preservation and protection methods agreeable to consulting parties and regulatory authorities with jurisdiction over the activity. Recommendations for avoidance of cultural resources will be reviewed by the NEPA Responsibly Entity (RE), interested Native American Tribes and the appropriate agencies, in light of factors such as costs, logistics, feasibility, design, technology and social, cultural and environmental considerations, and the extent to which avoidance is consistent with project objectives. Avoidance and design alternatives may include realignment within the project area to avoid cultural resources, modification of the design to eliminate or reduce impacts to cultural resources or modification or realignment to avoid highly significant features within a cultural resource. Native American Representatives from interested Native American Tribes will be allowed to review and comment on these analyses and shall have the opportunity to meet with the RE representative and its representatives who have technical expertise to identify and recommend feasible avoidance and design alternatives, so that appropriate and feasible avoidance and design alternatives can be identified.

If the resource can be avoided, the construction contractor(s), with paid Native American monitors from culturally affiliated Native American Tribes present, will install protective fencing outside the site boundary, including a buffer area, before construction restarts. The construction contractor(s) will maintain the protective fencing throughout construction to avoid the site during all remaining phases of construction. The area will be demarcated as an "Environmentally Sensitive Area". Native American representatives from interested Native American Tribes and the RE representative will also consult to develop measures for long term management of the resource and routine operation and maintenance within culturally sensitive areas that retain resource integrity, including tribal cultural integrity, and including archaeological material, Traditional Cultural Properties and cultural landscapes, in accordance with state and federal guidance including National Register Bulletin 30 (Guidelines for Evaluating and Documenting Rural Historic Landscapes), Bulletin 36 (Guidelines for Evaluating and Registering Archaeological Properties), and Bulletin 38 (Guidelines for Evaluating and Documenting Traditional Cultural Properties); National Park Service Preservation Brief 36 (Protecting Cultural Landscapes: Planning, Treatment and Management of Historic Landscapes) and using the Advisory Council on Historic Preservation (ACHP) Native American

	<i>Traditional Cultural Landscapes Action Plan</i> for further guidance. Use of temporary and permanent forms of protective fencing will be determined in consultation with Native American representatives from interested Native American Tribes.
TCR-2: Native American Monitoring Measure	To minimize the potential for destruction of or damage to existing or previously undiscovered burials, archaeological and tribal cultural resources and to identify any such resources at the earliest possible time during project-related earthmoving activities, THE PROJECT PROPONENT and its construction contractor(s) will implement the following measures:
	 Paid Native American monitors from culturally affiliated Native American Tribes will be invited to monitor the vegetation grubbing, stripping, grading or other ground-disturbing activities in the project area to determine the presence or absence of any cultural resources. Native American representatives from cultural affiliated Native American Tribes act as a representative of their Tribal government and shall be consulted before any cultural studies or ground-disturbing activities begin. Native American representatives and Native American monitors have the authority to identify sites or objects of significance to Native Americans and to request that work be stopped, diverted or slowed if such sites or objects are identified within the direct impact area. Only a Native American representative can recommend appropriate treatment of such sites or objects. If buried cultural resources, such as chipped or ground stone, historic debris, building foundations, or bone, are discovered during ground-disturbing activities, work will stop in that area and within 100 feet of the find until a archaeologist who meets the Secretary of the Interior's qualification standards can assess the significance of the find and, if necessary, develop appropriate treatment measures in consultation with the Caltrans, the SHPO, and other appropriate agencies. Appropriate treatment measures may include development of avoidance or protection methods, archaeological excavations to recover important information about the resource, research, or other actions determined during ground disturbing activities, the construction contractor or the County, or both, shall immediately halt potentially damaging excavation in the area of the burial and notify the County coroner and a qualified professional archaeologist to determine the nature of the remains. The coroner shall examine all discoveries of human remains within 48 hours of receiving notice of a discovery on

	private or state lands, in accordance with Section 7050(b) of the Health and Safety Code. If the coroner determines that the remains are those of a Native American, he or she shall contact the NAHC by phone within 24 hours of making that determination (Health and Safety Code Section 7050[c]). After the coroner's findings are presented, the County, the archaeologist, and the NAHC- designated Most Likely Descendant (MLD) shall determine the ultimate treatment and disposition of the remains and take appropriate steps to ensure that additional human interments are not disturbed.
TCR-3: Inadvertent Discoveries	Develop a standard operating procedure, points of contact, timeline and schedule for the project so all possible damages can be avoided or alternatives and cumulative impacts properly accessed.
	If potential tribal cultural resources, archaeological resources, other cultural resources, articulated, or disarticulated human remains are discovered by Native American Representatives or Monitors from interested Native American Tribes, qualified cultural resources specialists or other Project personnel during construction activities, work will cease in the immediate vicinity of the find (based on the apparent distribution of cultural resources), whether or not a Native American Monitor from an interested Native American Tribe is present. A qualified cultural resources specialist and Native American Representatives and Monitors from culturally affiliated Native American Tribes will assess the significance of the find and make recommendations for further evaluation and treatment as necessary. These recommendations will be documented in the project record. For any recommendations made by interested Native American Tribes which are not implemented, a justification for why the recommendation was not followed will be provided in the project record.
	If adverse impacts to tribal cultural resources, unique archeology, or other cultural resources occurs, then consultation with Wilton Rancheria regarding mitigation contained in 36 CFR 800.2(c) should occur, in order to coordinate for compensation for the impact by replacing or providing substitute resources or environments.
TCR 4: Awareness Training	A consultant and construction worker tribal cultural resources awareness brochure and training program for all personnel involved in project implementation will be developed in coordination with interested Native American Tribes. The brochure will be distributed, and the training will be conducted in coordination with qualified cultural resources specialists and Native American Representatives and Monitors from culturally affiliated Native American Tribes before any stages of project implementation and construction activities begin on the project site. The program will include

	relevant information regarding sensitive tribal cultural resources, including applicable regulations, protocols for avoidance, and consequences of violating State laws and regulations. The worker cultural resources awareness program will also describe appropriate avoidance and minimization measures for resources that have the potential to be located on the project site and will outline what to do and whom to contact if any potential archaeological resources or artifacts are encountered. The program will also underscore the requirement for confidentiality and culturally- appropriate treatment of any find of significance to Native Americans and behaviors, consistent with Native American Tribal values.
Contamination and Toxic	All measures identified by SCEMD for soil and vapor
Substances	mitigation shall be implemented prior to issuance of an
24 CFR Part 50.3(i) & 58.5(i)(2)	occupancy permit.



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Determination:

Finding of No Significant Impact [24 CFR $58.40(g)(1)$; 40 CFR 1508.27] The project will not result in a significant impact on the quality of the human environment.						
Finding of Significant Impact [24 CFR 58.40(g)(2); 40 CFI The project may significantly affect the quality of the human environment						
Preparer Signature: <u>Juil M. Run</u> Name/Title/Organization: <u>Gail M. Ervin, Principal, NCE</u>	Date: <u>1/23/23</u>					
Certifying Officer Signature:	Date:					
Name/Title:	must be retained on file					

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

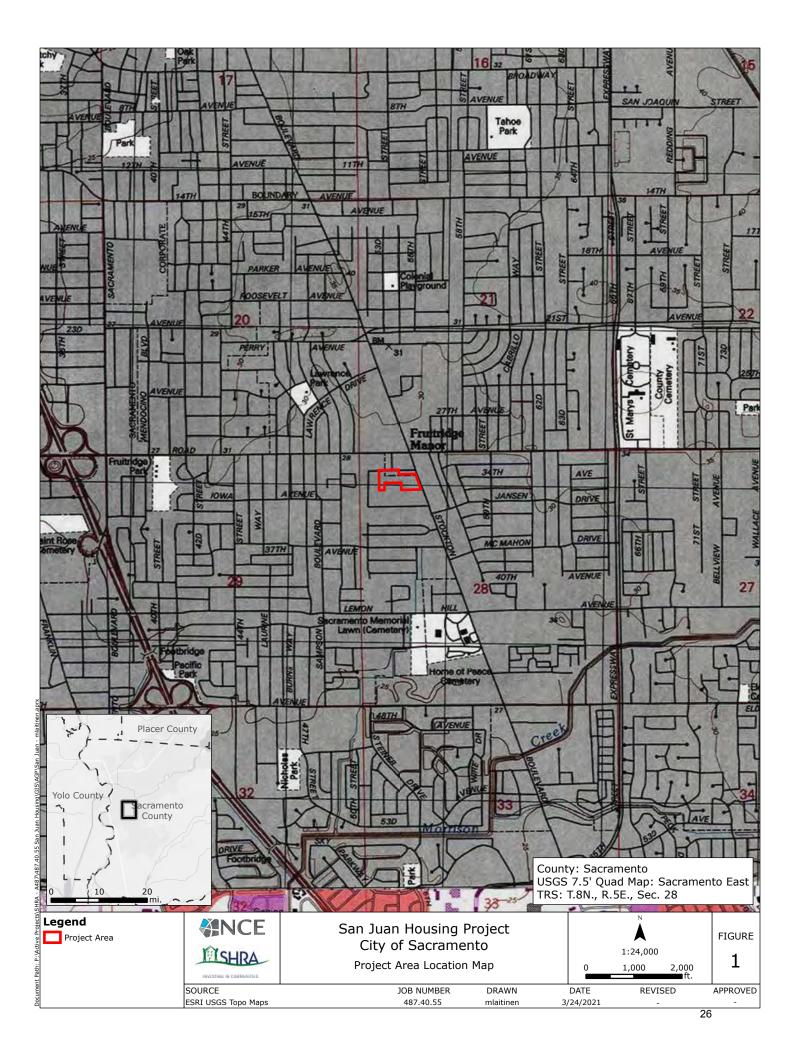






Photo 1: Facing east toward the southeast corner of the site near Stockton Boulevard.



Photo 3: Facing the south perimeter of the site.



Photo 2: Facing northeast toward the perimeter on Stockton Boulevard and the existing San Juan Motel sign onsite.



Photo 4: facing the north perimeter of the site that shares a border with commercial facilities.

8795 Folsom Blvd., Suite 250 Sacramento, California 95826 (916) 388-5655			Site Photographs San Juan Affordable Housing SHRA		Photo Log 1
DRAWN	PROJECT	NUMBER	APPROVED	DATE	REVISED DATE
cvaz	487.40.55			4/14/21	



Photo 5: Showing a large tree located in the center of the site.



Photo 7: Facing toward the northern perimeter of the site toward Young Street.



Photo 6: facing toward the southwest perimeter of the site.



Photo 8: Facing toward the north perimeter on Young Street.

8795 Folsom Blvd., Suite 250 Sacramento, California 95826 (916) 388-5655			Site Photographs San Juan Affordable Housing SHRA		Photo Log 2
DRAWN	PROJECT	NUMBER	APPROVED	DATE	REVISED DATE
cvaz	487.4	0.55		4/14/21	



VICINITY MAP:



San Juan Apartments

COVER SHEET

PROJECT NARRATIVE:

Despite the various constraints and being comprised of several separate parcels, the project design incorporates features that integrates the project into the overall diverse and dynamic community fabric of Stockton Boulevard.

Diversity has been an essential component of identity for the communities surrounding Stockton Boulevard. The corridor south of Fruitridge Road to Florin Road has always been an important cultural hub in the Sacramento region, with thriving retail specializing in international goods and services. The area has continued to evolve and turned into a must-visit; a diverse and dynamic destination. This incredible influence of various cultural groups has fostered a new generation dedicated to building healthy communities.

The proposed project design is a result of maximizing density and children oriented open space, while maintaining a strong sense of community among the residential buildings without compromising the project's livability for families.

Residential units have high frequency entrances and balconies on the streets, which puts eyes on the neighborhood, provides a more walkable atmosphere, and enhances security at all areas around the dwelling units. The site is landscaped with a balance of large and small-scale open spaces. Parking for the community is provided through on-site tuck-under parking, on-site surface parking, and on site private internal street. The tuck-under parking design and shading trees at regular intervals will allow views of parking stalls to not be prominent. The unit floor plan designs are efficient and livable. All buildings have been optimized for maximum structural, utility and climate efficiency.

The elevation along Stockton Boulevard will be designed to integrate a reflection of a contemporary aesthetics with the neighboring international marketplace theme mixed-use and retail developments. The overall building massing showcases a very strong horizontal volume floating over the mixed-used area. The ground floor here is recessed and allows for activity from inside the building to participate to the street. A large recessed balcony area is carved from the building volume, providing a unique vantage point to connect with the vibrant multicultural energy along the Stockton Boulevard corridor. With similar architectural language, the addition of a 10-unit residential building will contribute to this vibrancy along Stockton. Two rows of trees with landscaping will help mitigate and provide a soft buffer to the periodic hecticness of the street.

As part of its overall building aesthetics, the mixed-use will have accent masonry walls that will have patterns to reflect the incredible influence of various cultures that makeup this community. The mixed-use building with offices will be designed to accommodate retail including shafts for exhaust hoods and high ceiling heights.

On the Young Street side, the elevation will transition to smaller individual 3 story building volumes with less massing, reflecting the transition to the residential neighborhood surroundings. Large shade trees with landscaping will line the street. An inviting courtyard with amenities for residences will encourage community engagement and socializing.

To achieve a connection with the larger neighborhood, the community building is located on Young Street and at the center of the community development and has a strong connection to outdoor green areas as well.

PROPERTY INFORMATION Address APN Parcel Number Approximate Site Area (Per Parcel) Approximate Total Area (Per owner)	Sacramento County Sacramento County 026-0073-003; 026-0073-014; 026-0073-017 5700, 5716, 5258 1.09 acres; 2.54 acres; 1.28 acres 4.91 acres / 213,880 sf.			026-0073-007; (5266, 5270, 530	nto)26-0073-005; 026-0073-006)26-0073-008)0, 5320, 5340 • acres; 0.13 acres; 0.13 acres;0.11	acres	
ZONING		RD-20 - Multiple SPA - Special Pl	Family Residential		R-3 - Multi-Fami	ly Residential	
	RD-20		-		R-3		
ALLOWABLE HEIGHT	RD-20		SPA				
Maximun Height by right (to top of roof) Stories	4		35'		35'		
SETBACKS Front	25'		0		10'		
Side Rear	20' (3 story) 20' (3 story)		No requirement 20'		0' 15'		
DENSITY - OVERLAY (DU/Acre) Min - Max Proposed	20 Max. 15		40 Max. 18.9		30 Max. 30		
OPEN SPACE SUMMARY							
Private Open Space (Residential) Common Open Space	30% Detached		30% Detached				
Common Open Space (Child Care)			75 sf per child				
PARKING REQUIREMENTS							
Parking for Multifamily Residential Parking for Community Building Parking for Multifamily Residential within 1/4 mile of transit stop - Studio - 1 Bedroom - 2 Bedroom - 3 Bedroom or more Guest Parking General Office General Restaurant Covered Parking Motorcycle Parking	1 1 1.5 1.5 0.25 1 per unit 1 space/ 40 car	spaces	1 1.5 1.5 0.25 3.5 spaces/ 1000 4 spaces/ 1000 sf 1 space/ 3 seats 1 per unit 1 space/ 40 car sp	f	1.5/DU 1 space / 5 occu	ipants	
BIKE PARKING REQUIREMENTS Bike Parking (Community Building) - Short Term - Long Term Bike Parking (Mixed used/Offices) - Short Term - Long Term Bike Parking (Mixed use/Retail) - Short Term - Long Term Bike Parking (Mixed use/Retail) - Short Term - Long Term Bike Parking (Mixed use/Restaurants) - Short Term - Long Term Bike Parking (Multiple Family Residential) - Short Term - Long Term Bike Parking (Multiple Family Residential) - Short Term - Long Term			1 space per 60 ve 1 space per 30 ve 1 space per 30 ve 1 space per 30 ve 1 space per 30 ve 1 space per 50 ve 1 space per unit	ehicles ehicles ehicles ehicles	1 space per 20, 1 space per 6,60 1 space per 20 l 2 spaces per un	S7 sf DU	
DWELLING UNITS				1			
Apartments Building A	Micro Units	One-Bedroom	Two-Bedroom	Three-Bedroom	SUBTOTAL	TOTAL	
First Floor Second Floor Third Floor Subtotal		2 2 28	2 1 1 28	1 1 14	2 4 4 10	x 7 Buildings = 70	
Apartments Building B							
First Floor Second Floor Third Floor Subtotal		4	1 1 8	1 2 2 20	2 3 3 8	x 4 Buildings = 32	
Community Building C First Floor Second Floor Third Floor Subtotal		2 2 4	1 1 1 3	1 1 2	1 4 4 9	x1 Building = 9	
Mixed Use D First Floor Second Floor Third Floor Subtotal	6 6 12	8 8 16	3 3 3 9	1 1 2	3 18 18 39	x1 Building = 39	
Apartments Building E		1		1			
First Floor Second Floor Third Floor Subtotal		2 2 4	2 1 1 4	1 1 2	2 4 4 10	x 1 Building = 10	
Project Total	12	56	52	40		160	
SQUARE FOOTAGE TOTALS	Oreces into i		n Tusk Hada D. P.			1	
Apartments Building A Apartments Building B Community Center C Mixed Use Building D Apartments Building E	Gross interior 10,334 9,755 12,473 38,484 10,659	Covered Exterior 583 515 467 0 252	r Tuck Under Parkir 1413 1037 0 3490 1384	ng SUBTC 12,330 11,307 12,940 41,974 12,295	x7 = 8 x4 = 4 x1 = 7 x1 = 4	L 36,310 45,228 12,940 41,974 2,295	
Project Total					198,7	47	
·							

PROPERTY INFORMATION Address APN Parcel Number Approximate Site Area (Per Parcel) Approximate Total Area (Per owner)		Sacramento Cour Sacramento Cour 026-0073-003; 026-0073-014; 02 5700, 5716, 5258 1.09 acres; 2.54 a 4.91 acres / 213,8	nty 6-0073-017 icres; 1.28 acres		026-0073-007; 0 5266, 5270, 530	nto 126-0073-005; 026-0073-00 126-0073-008 0, 5320, 5340 acres; 0.13 acres; 0.13 ac	
ZONING		RD-20 - Multiple F SPA - Special Pla			R-3 - Multi-Fami	ly Residential	
	RD-20		SPA		R-3		
ALLOWABLE HEIGHT Maximun Height by right (to top of roof) Stories	4		35'		35'		
SETBACKS Front Side Rear	25' 20' (3 story) 20' (3 story)		0 No requirement 20'		10' 0' 15'		
DENSITY - OVERLAY (DU/Acre) Min - Max Proposed OPEN SPACE SUMMARY	20 Max. 15		40 Max. 18.9		30 Max. 30		
Private Open Space (Residential) Common Open Space Common Open Space (Child Care)	30% Detached		30% Detached 75 sf per child				
PARKING REQUIREMENTS							
Parking for Multifamily Residential Parking for Community Building Parking for Multifamily Residential within 1/4 mile of transit stop - Studio - 1 Bedroom - 2 Bedroom - 3 Bedroom or more Guest Parking General Office General Retail General Restaurant Covered Parking Motorcycle Parking	1 1.5 1.5 0.25 1 per unit 1 space/ 40 car	spaces	1 1.5 1.5 0.25 3.5 spaces/ 1000 4 spaces/ 1000 s 1 space/ 3 seats 1 per unit 1 space/ 40 car s	f	1.5/DU 1 space / 5 occu	pants	
BIKE PARKING REQUIREMENTS Bike Parking (Community Building) - Short Term - Long Term Bike Parking (Mixed used/Offices) - Short Term - Long Term Bike Parking (Mixed use/Retail) - Short Term - Long Term Bike Parking (Mixed use/Restaurants) - Short Term - Long Term Bike Parking (Multiple Family Residential) - Short Term - Long Term			1 space per 60 ve 1 space per 30 ve 1 space per 30 ve 1 space per 30 ve 1 space per 30 ve 1 space per 50 ve 1 space per unit	ehicles ehicles ehicles ehicles	1 space per 20,0 1 space per 6,66 1 space per 20 E 2 spaces per uni	S7 sf DU	
DWELLING UNITS							
Apartments Building A	Micro Units	One-Bedroom	Two-Bedroom	Three-Bedroom	SUBTOTAL	TOTAL	
First Floor Second Floor Third Floor Subtotal		2 2 28	2 1 1 28	1 1 14	2 4 4 10	x 7 Buildings = 70	
Apartments Building B First Floor		1		1	2		
Second Floor Third Floor Subtotal		4	1 1 8	2 2 20	3 3 8	x 4 Buildings = 32	
Community Building C First Floor			1		1		
Second Floor Third Floor Subtotal Mixed Use D		2 2 4	1 1 3	1 1 2	4 4 9	x1 Building = 9	
First Floor Second Floor Third Floor Subtotal	6 6 12	8 8 16	3 3 3 9	1 1 2	3 18 18 39	x1 Building = 39	
Apartments Building E			0	1			
First Floor Second Floor Third Floor Subtotal Project Total	12	2 2 4 56	2 1 1 4 52	1 1 2 40	2 4 4 10	x 1 Building = 10	
SQUARE FOOTAGE TOTALS							
Apartments Building A Apartments Building B Community Center C Mixed Use Building D Apartments Building E	Gross interior 10,334 9,755 12,473 38,484 10,659	Covered Exterior 583 515 467 0 252	Tuck Under Parki 1413 1037 0 3490 1384	ng SUBTO 12,330 11,307 12,940 41,974 12,295	x7 = 8 x4 = 4 x1 = 1 x1 = 4	36,310 15,228 2,940 11,974	
Project Total					198,7	47	

OWNER Keith Bloom

David Mogavero, AIA

Mutual Housing 3321 Power Inn Rd., Suite 320 Sacramento, CA p (916) 453-8400 keith@mutualhousing.com

ARCHITECT

CIVIL Dan Fenocchio

Cunningham Engineering 2120 20th Street, Suite 3 Sacramento, CA, 95818 p (916) 445-2026 dan@cecwest.com

LANDSCAPE Cinda Gilliland

Reed Gilliland Landscape Architecture 1060 Corona Road Petaluma, CA, 94954 p (707) 765-9582 cinda@reedgilliland.com



DRY UTILITIES David Green

Apex Utility Consultants LLC 168 Temperence River Court Folsom, CA, 95630 P (916) 417-7062 dave@apexutilityconsultants.com

SIGNAGE Kathy Batman

Kathy Batman Ellis & Ellis Sign Systems 1111 Joellis Way Sacramento, CA, 95815 p (916) 569-3545

Dec. 12th, 2022







San Juan Apartments

SITE AERIAL

CITY PARCELS

COUNTY PARCELS





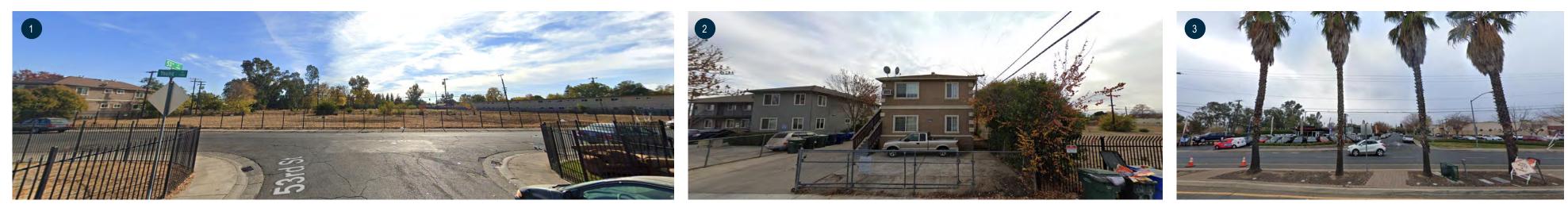
MOGAVERO

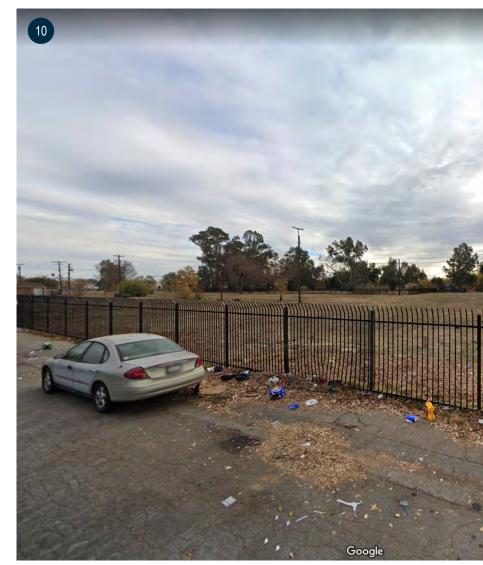




12 RESIDENTIAL NEIGHBORHOOD ON YOUNG ST.

13 RESIDENTIAL NEIGHBORHOOD ON YOUNG ST.











24 RESIDENTIAL NEIGHBORHOOD ON SOUTHWEST AVE.

23 RESIDENTIAL NEIGHBORHOOD ON SOUTHWEST AVE.



11 NEIGHBORING PROPERTY ON YOUNG ST.

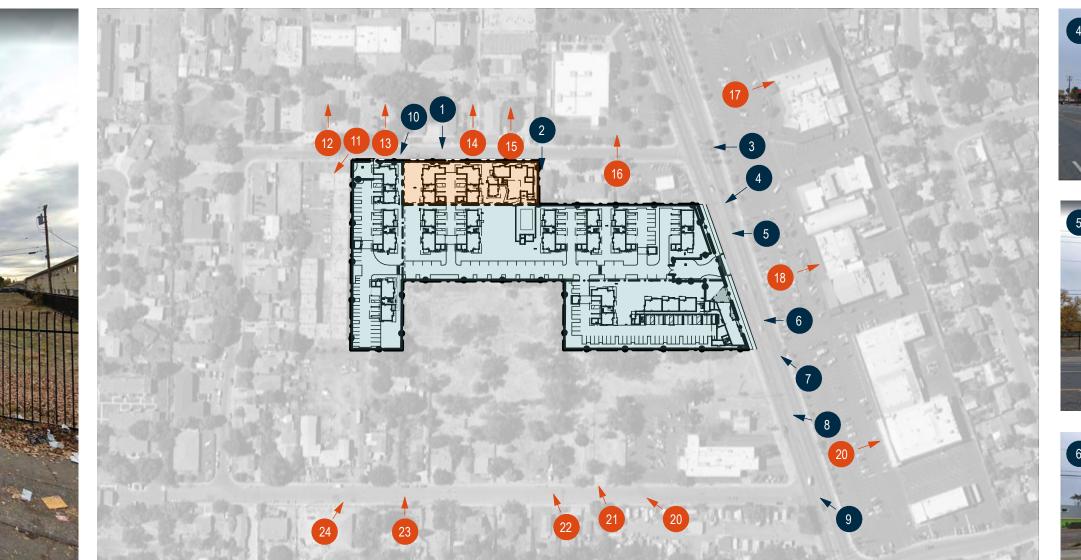
San Juan Apartments





14 RESIDENTIAL NEIGHBORHOOD ON YOUNG ST. - VIEW DOWN 53RD ST.

15 RESIDENTIAL NEIGHBORHOOD ON YOUNG ST.





22 RESIDENTIAL NEIGHBORHOOD ON SOUTHWEST AVE.

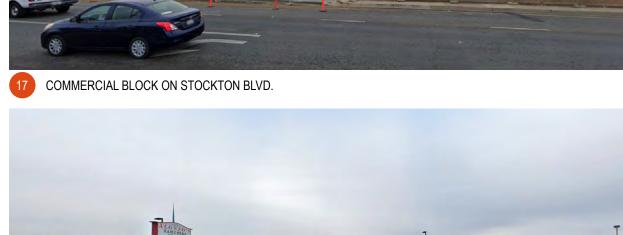




16 RESIDENTIAL NEIGHBORHOOD ON YOUNG ST. - RITE AID AT CORNER OF YOUNG AND STOCKTON

















20 RESIDENTIAL NEIGHBORHOOD ON SOUTHWEST AVE.



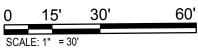




CITY PARCELS

COUNTY PARCELS





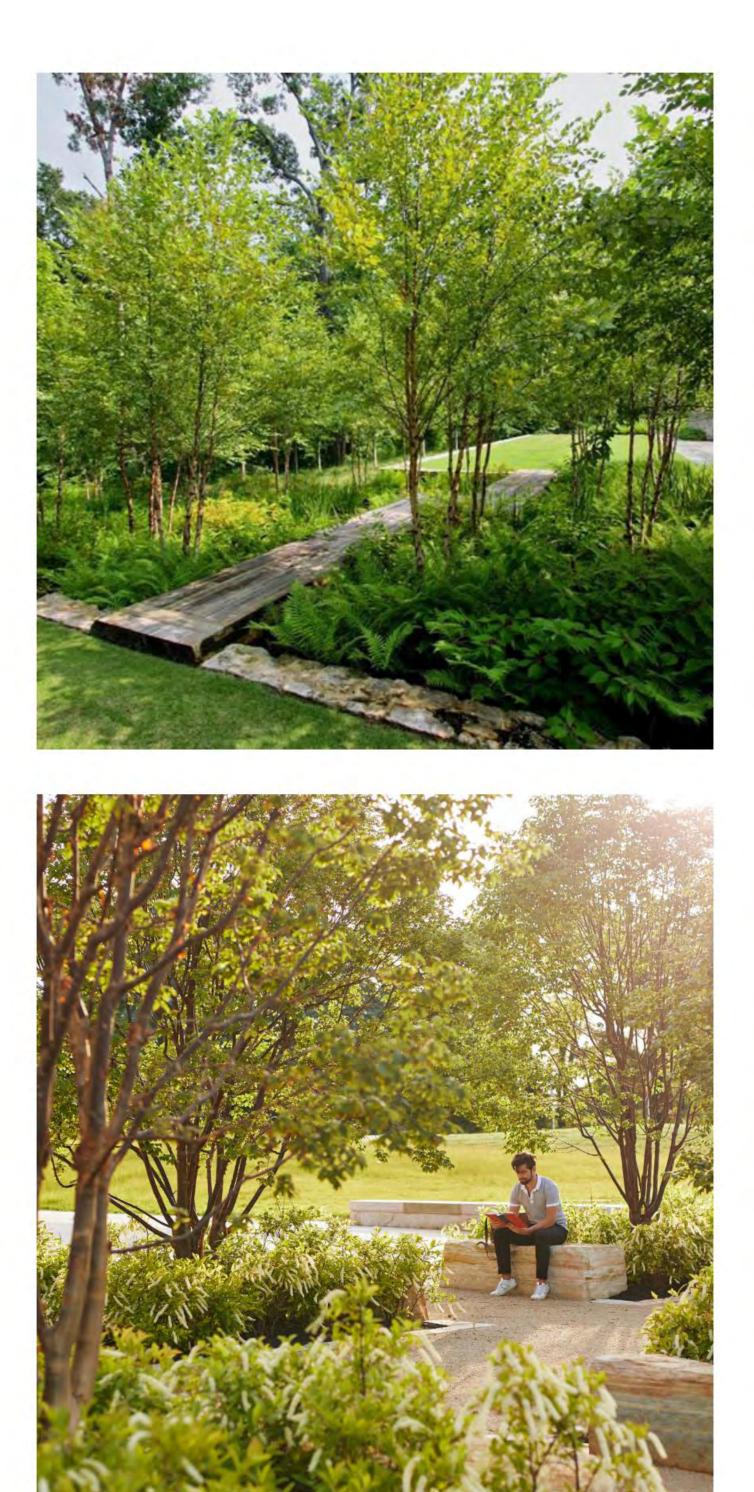
San Juan Apartments

Dec. 12th, 2022













PLAY

LANDSCAPE

LANDSCAPE PRECEDENTS

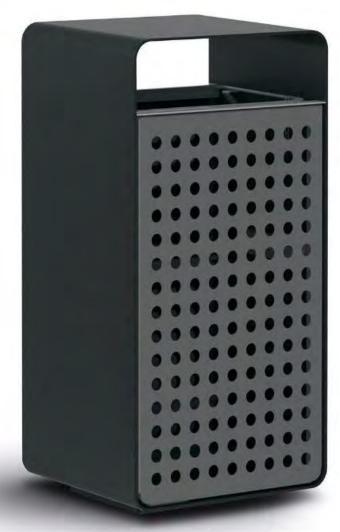






FURNISHING





DISPOSAL & BIKE STORAGE



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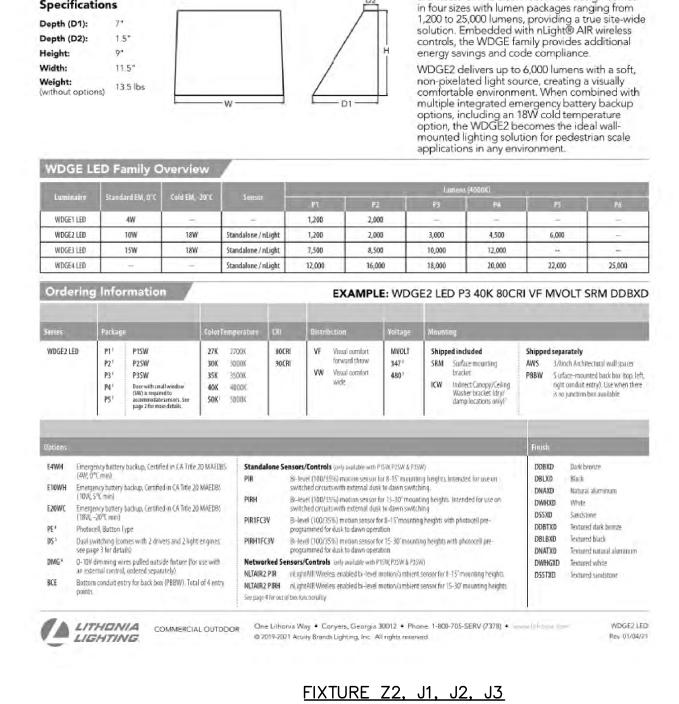


San Juan Apartments

WOOD FENCING



LIGHT FIXTURE CUTSHEETS



WDGE2 LED

🏨 🏵 🤐

Specifications

Architectural Wall Sconce

Introduction

The WDGE LED family is designed to meet

specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes

SPECIFICATION FEATURES an optional house side shield Construction Construction is comprised of a accessory of heavy-duty, single-piece die-cast installed. accessory can be field or factory aluminum housing. The LED drivers are mounted in direct Electrical contact with the casting to promote LED drivers are mounted to the low operating temperature and fixture for optimal heat sinking long life. The die-cast aluminum and ease of maintenance. Therma door is tethered to provide easy access to the driver if replacement conduction and convection to is required. A one-piece silicone transfer heat rapidly away from the standard mounting arm enable gasket seals the door to the fixture LED source for optimal efficiency wiring of the fixture without ha housing. The optics are mounted and light output. Class 1 electronic on a versatile, aluminum plate drivers have a power factor >90%, that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and operation. 480V is compatible for vibration rated (ANSI C136.31) to use with 480V Wye systems only. insure strength of construction and longevity in the selected application. Optics Precision molded, high efficiency from 40°C to 40°C. Optional 50°C powder coat paint 2.5 mill nom optics are precisely designed to HA (high ambient) available. thickness for superior protectic shape the distribution, maximizing NEMA 3-PIN twistlock photocontrol against fade and wear. Standau efficiency and application spacing. receptacle and NEMA 7-PIN color is bronze. Additional color Available in Type II, III, IV and V twistlock photocontrol receptacles available in white, grey, black, distributions with lumen packages are available as options. Standard platinum and graphite metallic ranging from 7,000 to 48,600 nominal lumens. Light engine configurations consist of 1, 2, 4 luminaire. or 6 high-efficacy LEDs mounted to metal-core circuit boards

to maximize heat dissipation and promote long life. For the

COOPER

ultimate level of spill light control,

The USSL LED area, site, and roadway luminaire combines optical

performance, energy efficiency and long term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the USSL luminaire delivers unparalleled uniformity resulting in greater pole spacing. A versatile mount standard arm facilitates ease of installation for both retrofit and new installations. The USSL fixture replaces 150 - 1,000W metal halide fixtures in general area lighting applications such as parking lots, walkways, roadways and building areas.

DESCRIPTION

FIXTURE Z7

Standard five-year warranty. Optional ten-year warranty,

Controls See Control Options section for more details on available offerings. sales representative for more

DIMENSIONS USSL -13-15/16" [354mm] USSL-XL T

management incorporates both THD <20%. Available in 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz 0-10V dimming driver is standard 2-3/8" O.D. tenon. with leads external to the fixture to accommodate controls capability Finish such as dimming and occupancy. Housing and cast parts finished Suitable for ambient temperatures in five-stage super TGIC polyes are available as options. Standard platinum and graphite metallic 3-position terminal block installed with flying leads external to the Warranty

OPEN IRON ROD FENCING



9	Catalog # Project Comments Prepared by	Streetworks	5	7		Radea ED Are	an Post a Luminaire	Buy American	ntroducti	ion cturally-inspired shape of	of the
al he ic , stores to stat	Mounting Standard pole mount arm is bolted directly to the pole and the fixture slides onto the arm and locks in place with a bolt facilitating quick and easy installation. The versatile, patent pending, standard mount arm accommodates multiple drill patterns ranging from 4-7/8' to 1-1/2". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A krock-out on the standard mounting arm enables round pole mounting. Wall mount and mast arm mounting options are available. Mast arm adapter fits 2-3/8" O.D. tenon. Finish Housing and cast parts finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, black, dark platinum and graphite metallic. Warranty Standard five-year warranty. Optional ten-year warranty.	USSL USSL-XL	EPA: Length: Width: H1 Luminaire Height: H2 Luminaire Height: Weight:	tions 1.02 ft ² (0.105 m ²) 24" (61cm) 24" (61cm) 4" (10.16cm) 26" (66.04cm) 38 bs 17.24Kg) g Informatic					ADEAN™ he grace ar he twin co pupport the beautiful s nto a beacc prms redirec quiet appea ilhouettes, ighting and areas like co universities bedestrian-	2 3 30K SYM MVOLT PT	embodies EAN family. n arms creating rming friangular its visually and simple se specialized form common locations, es into onments.
-	please see your Cooper Lighting Solutions Streetworks sales representative for more	LED	RADPTLED								
s.	information.	AREA / SITE / ROADWAY LUMINAIRE	Series	Performance pack	age Co	for temperature	Distrimition	Veltage	Macoting (-		
		CERTIFICATION DATA UL and dULWet Location Listed	RADPTLED	P1 3,000 Lumens P2 5,000 Lumens P3 7,000 Lumens P4 10,000 Lumen P5 15,000 Lumen	31 32 5 41	7K 2700K 0K 3000K 5K 3500K 0K 4000K 0K 5000K	SYM Symmetric type V ASY Asymmetric type IV PATH Pathway Type III	MW0LT' 277' 120' 347 208' 480 240'	RADPT20	Slips inside a 4°00 round metal pole Slips over a 23/8° d'ameter tenon Slips over a 27/8° d'ameter tenon	
6" m]		IP66-Rated USSL: 3G Vibration Rated USSL-XL Standard Arm: 1.5G Vibration	-		0.0						
		Rated USSL-XL Mast Arm: 3G Vibration Rated ISO 9001 FCC Class A DesignLights Consortium® Qualified® ENERGY DATA Electronic LED Driver 0.9 Power Factor	(1009 PE Butto	t AIR 2.0 enabled ¹ el motion/sensor 6 to 30%) ^{ktad} n photocell *	DF Da	ngle Fune [†] ouble Fuse [†] stated optics [†]	Shipped installed HS Houseside shield ¹⁰	Finish reasoner/ DDBXD Barkbronze DBLXD Black DNAXD Natural aluminum DWHXD White	DDBTXD DBLBXD DNATXD DWHGXD	Textured dark brinne fextured black Textured natural aluminum Textured white	
_	7-1/8" [190mm]	<20% Total Harmonic Distortion 120-277V50 and 60Hz, 347V/60Hz, 430V/60Hz -40°C Minimum Temperature Rating +40°C Arbient Temperature Rating SHIPPING DATA Approximate Net Weight: USSL: 2016s. (8,0.9 kgs.)	FAO Fielda	djustable output ⁴³			J				
	*www.designlights.org	USSL-XL:45 lbs. (20.41 kgs.)		THONIA GHTING	COMMERC	IAL OUTDOOR	48 2011-2021 Acuity Brands	Lighting, Inc. All rights reser		ERV (7378) • • • • • • • • • • • • • • • • • • •	RADIPT LED Rev. 03/17/21
E	Z7						FIXTUR	E Z8			

<u>FIXTURE Z8</u>



Cinda Gilliland

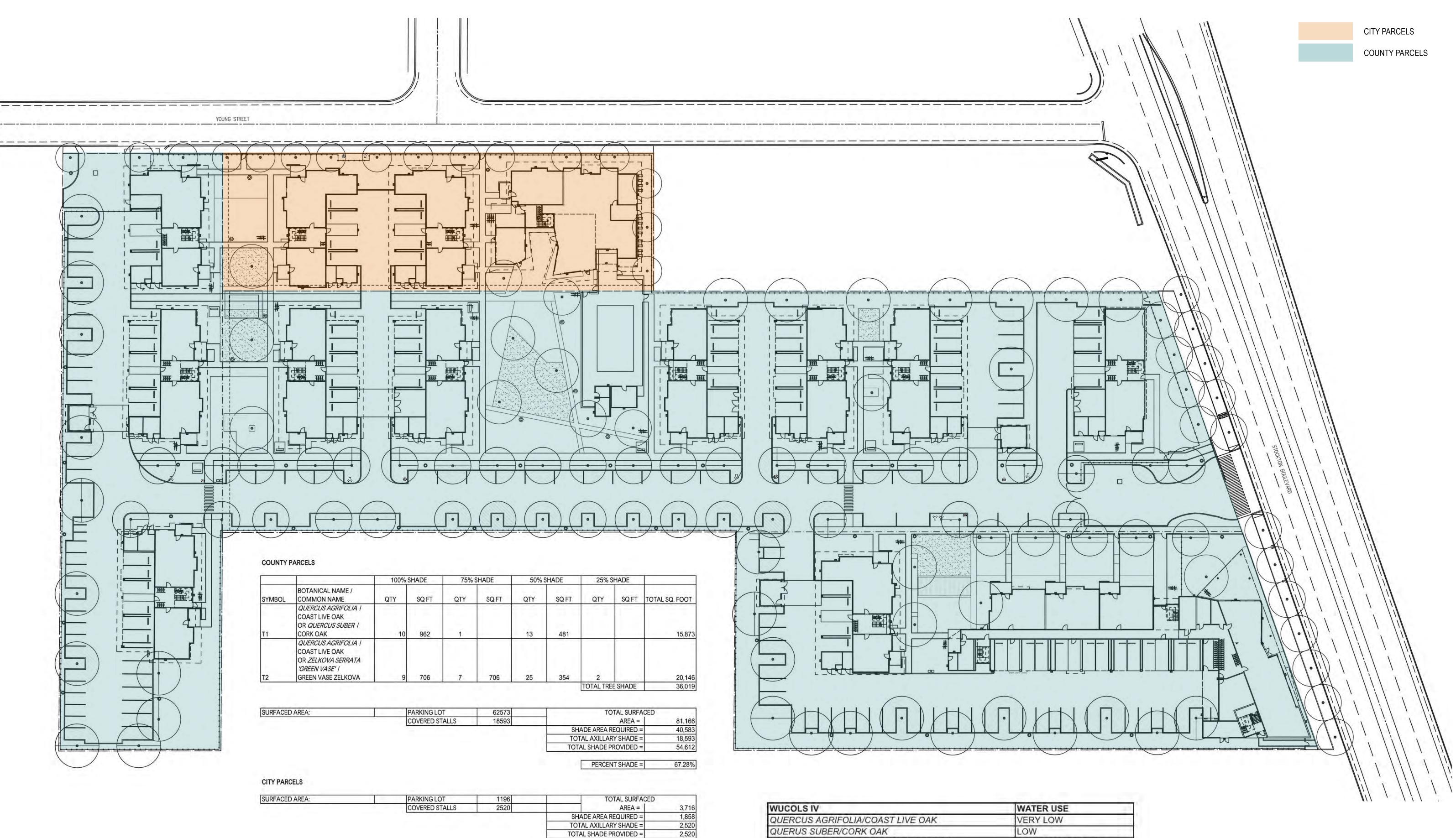
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QUERUS SUBER/CORK OAK ZELKOVA SERRATA/GREEN VASE ZELKOVA

67.81% PERCENT SHADE =

TOTAL SHADE PROVIDED =

LOW
MODERATE/MEDIUM

LANDSCAPE

Cinda Gilliland

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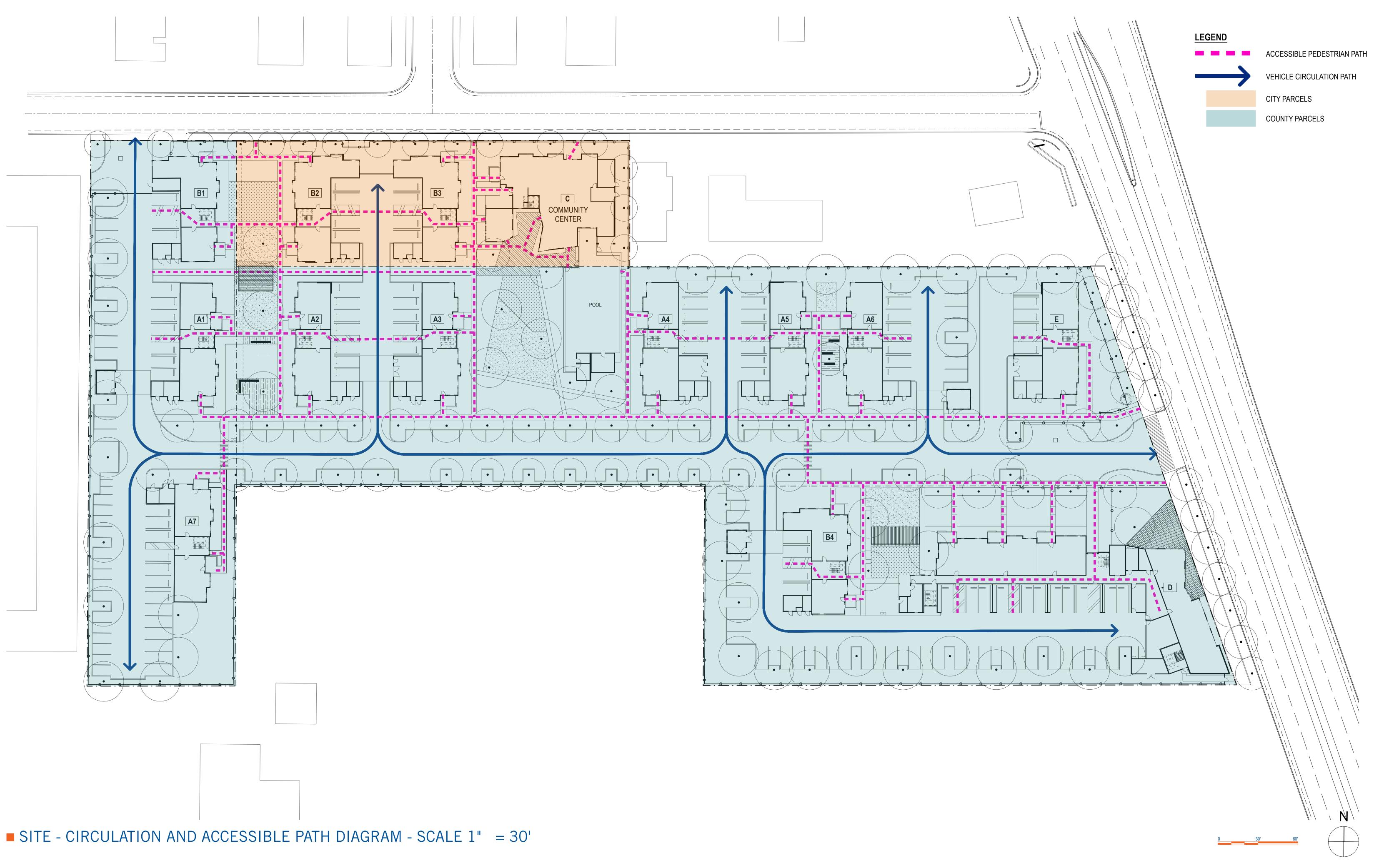


MOGAVERO

15'





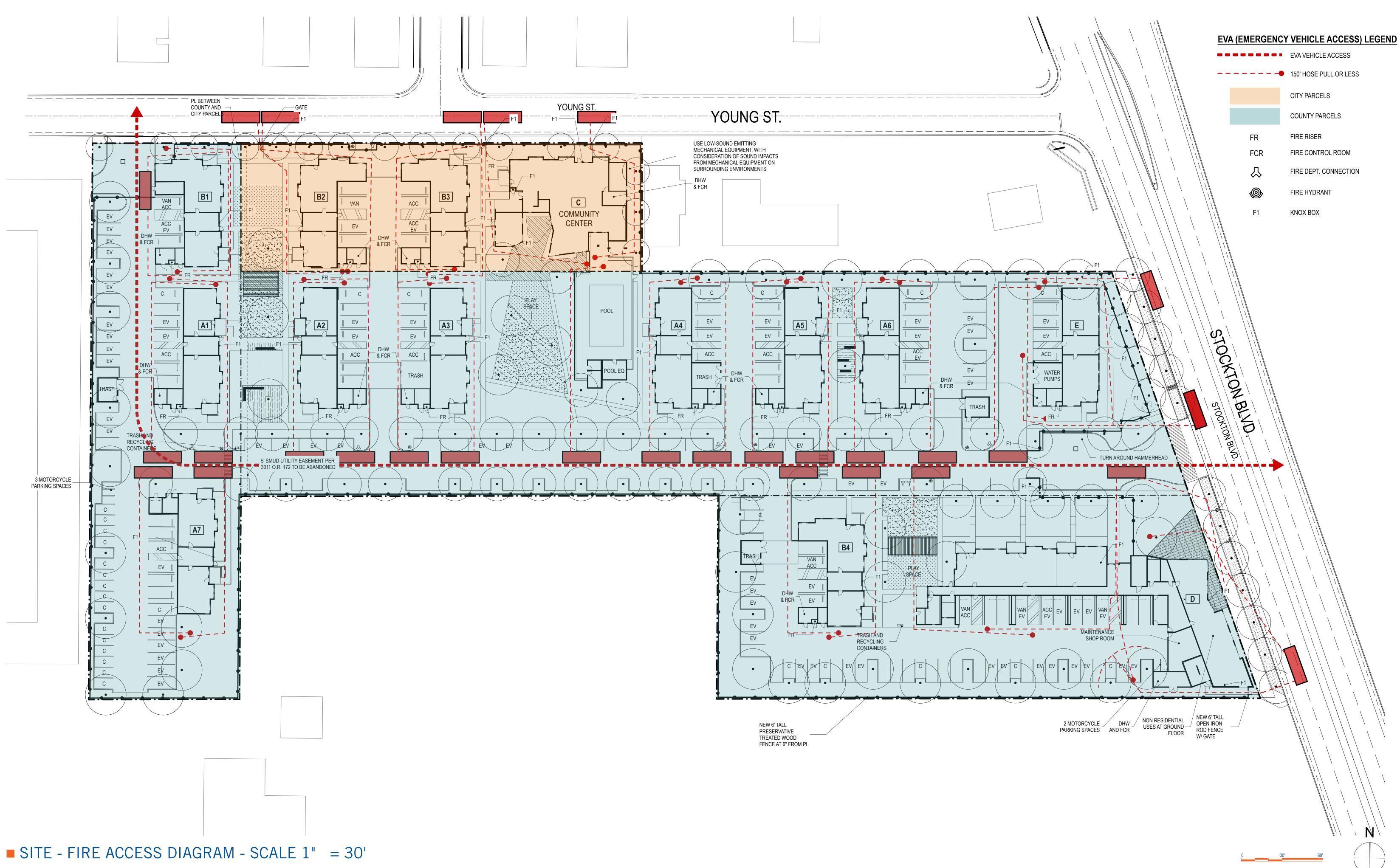


WUTUAL HOUSING

CALIFORNIA SHAPING PLACES + SHAPING LIVES

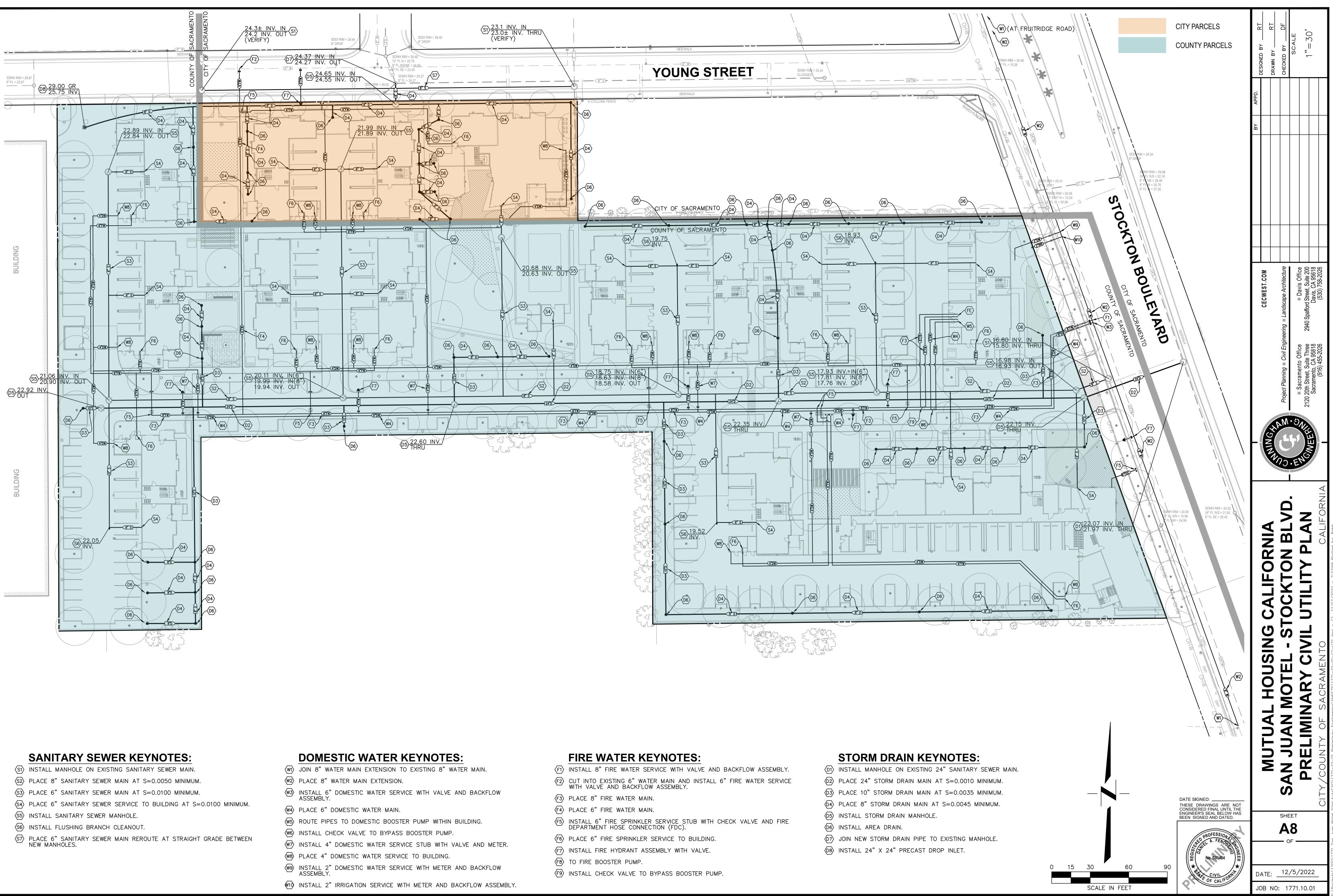


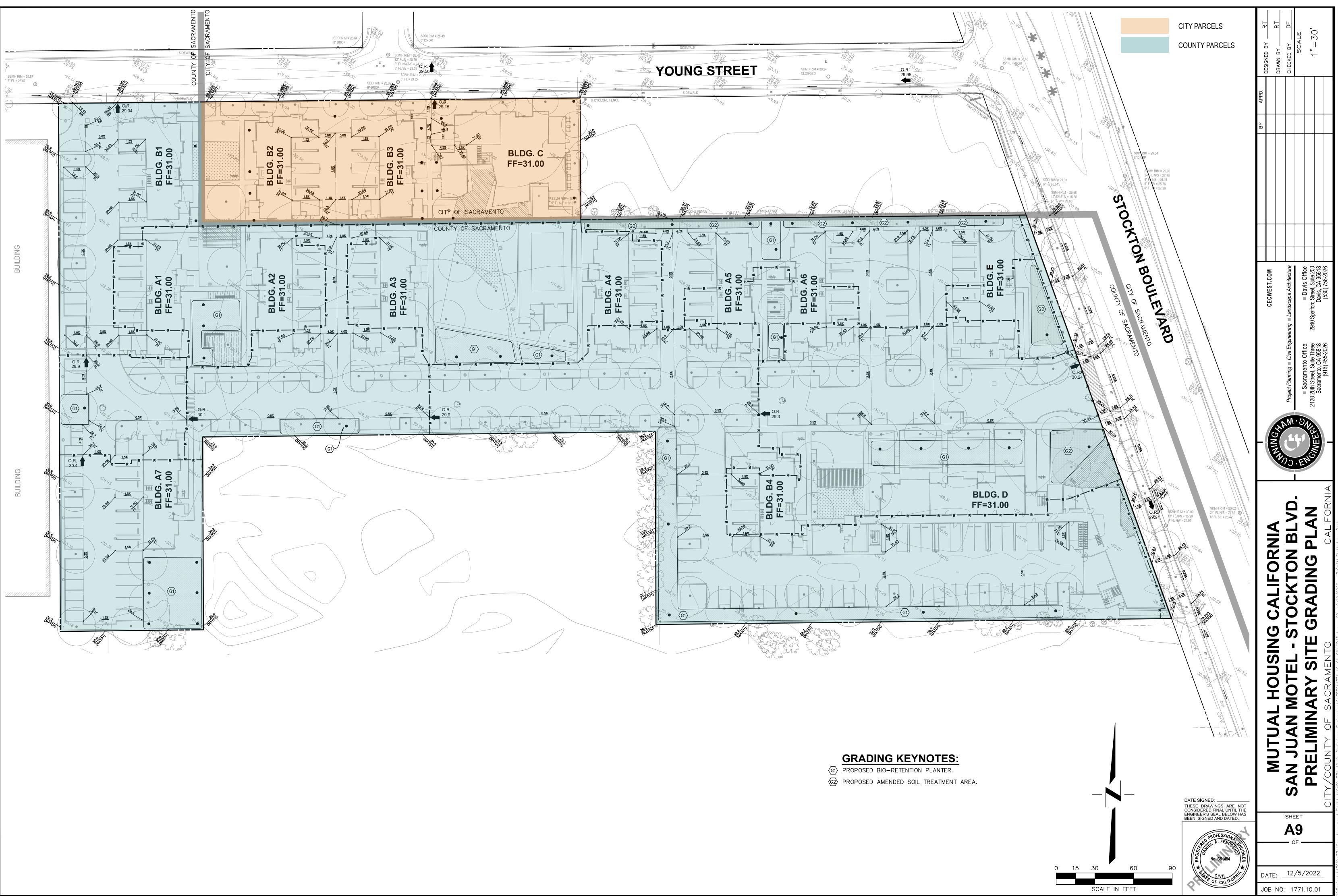


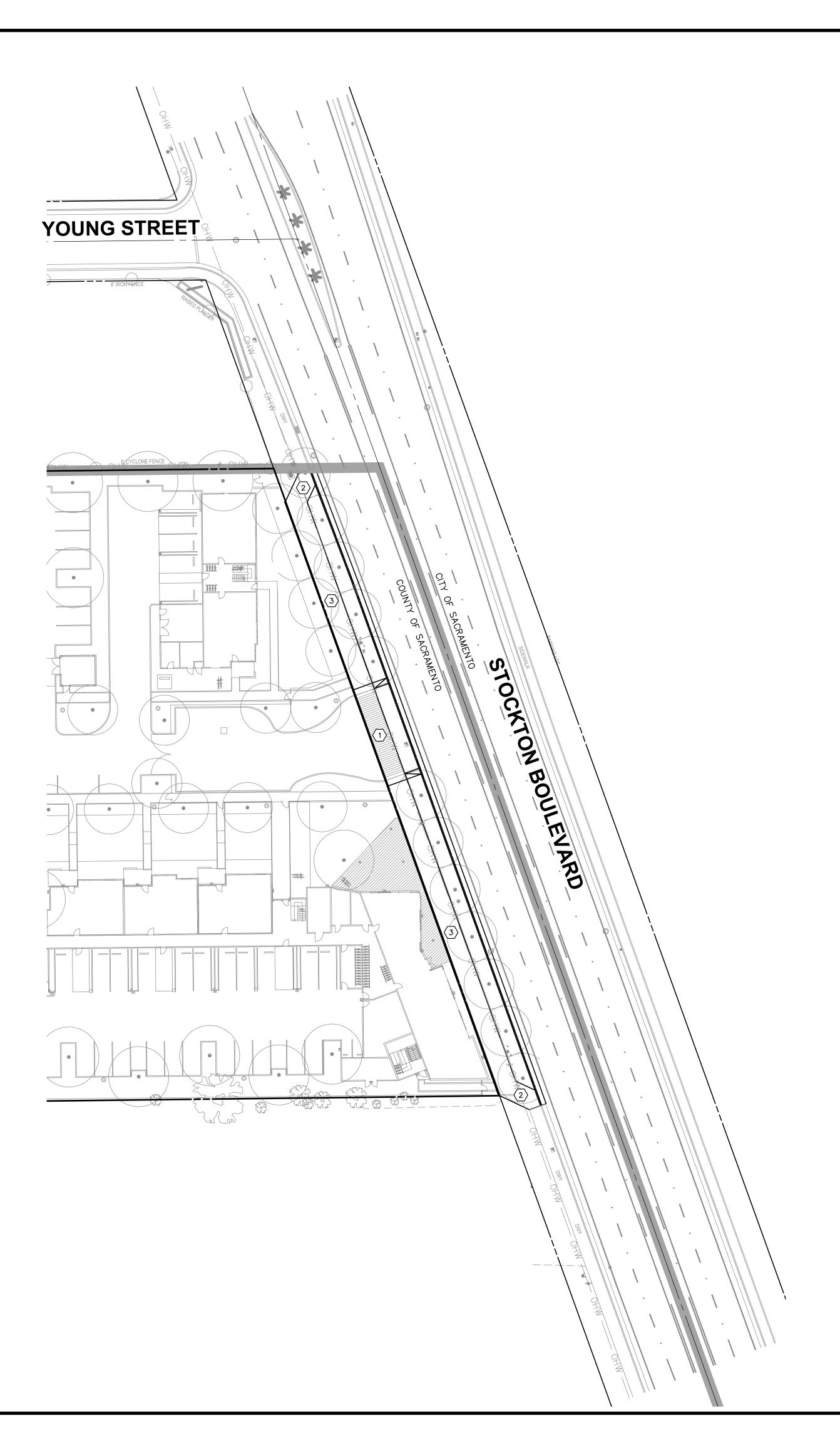


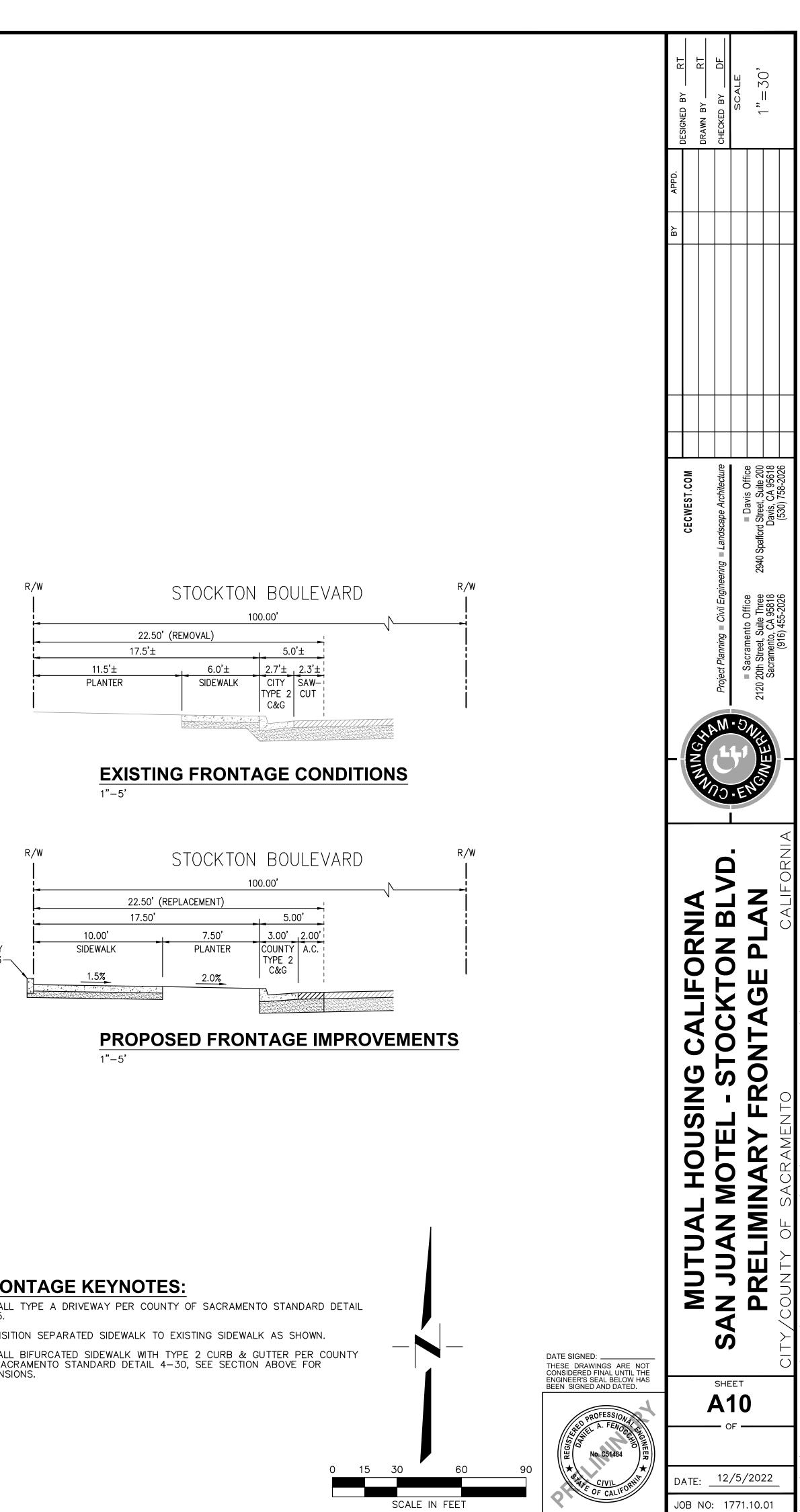


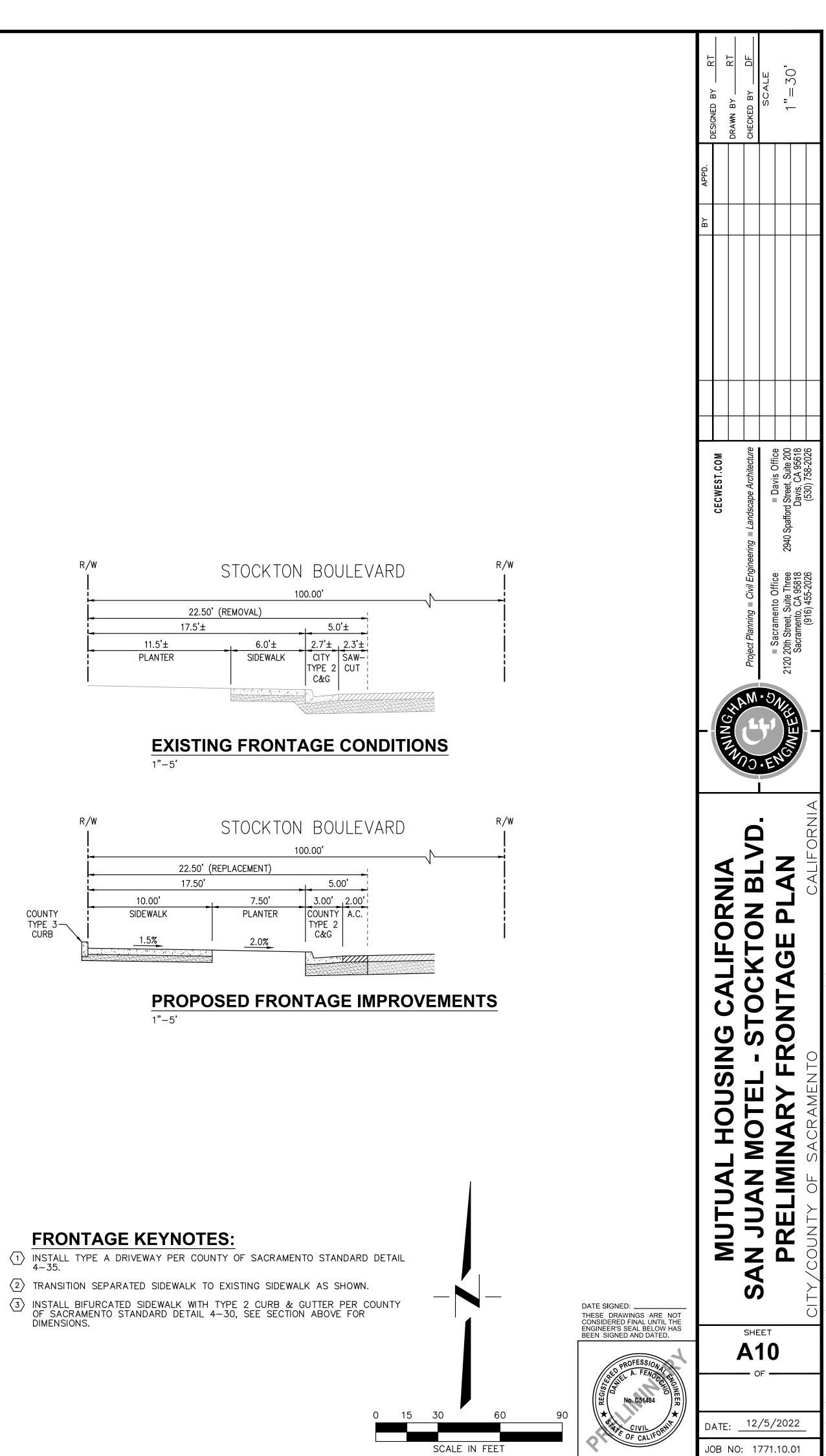


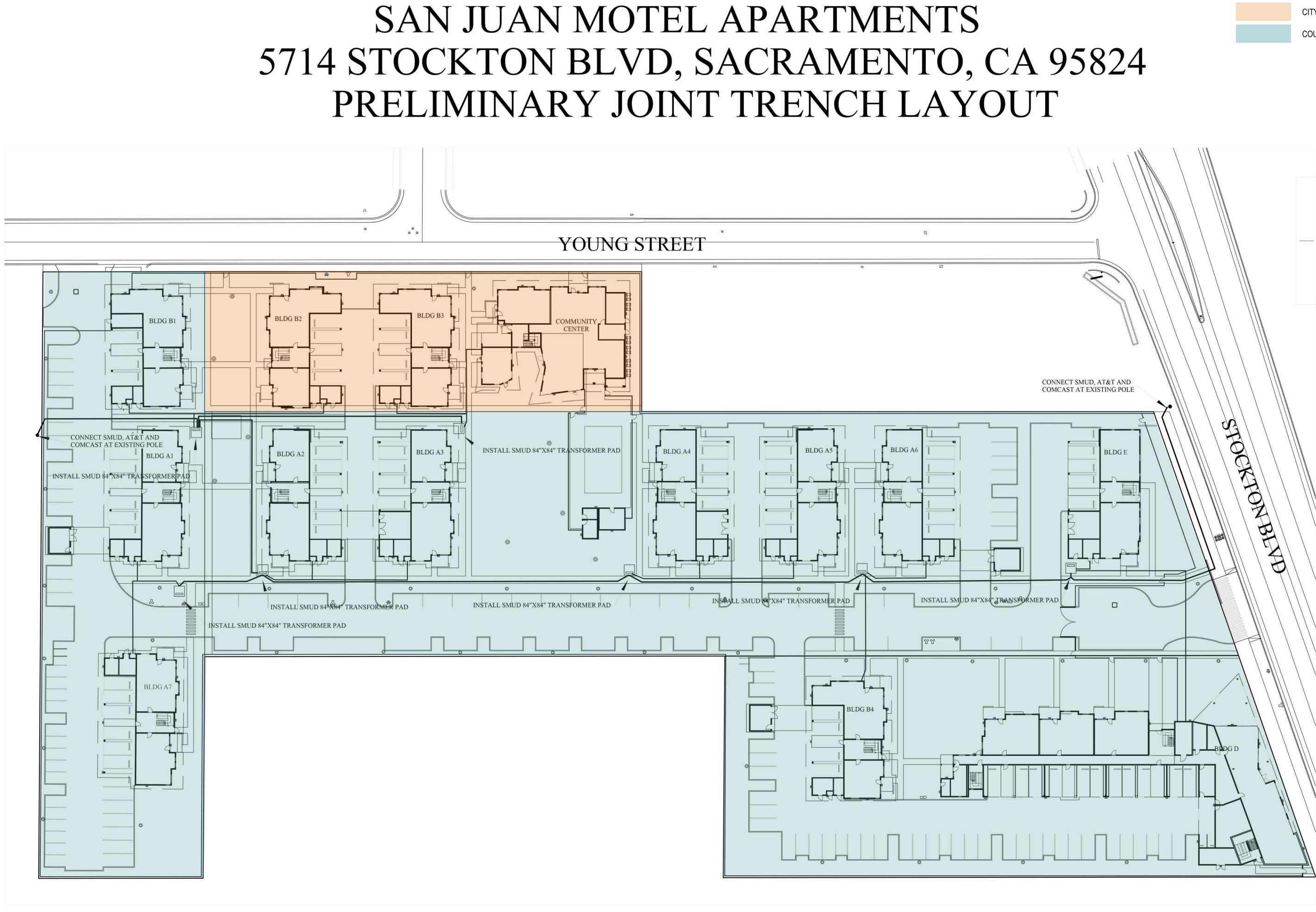










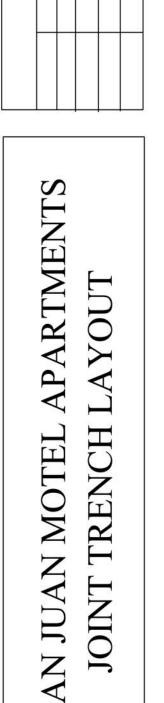


NOTE: JOINT TRENCH LAYOUT IS PRELIMINARY AND SUBJECT TO FUTURE EASEMENT NEGOTIATIONS WITH SMUD.

PRELIMINARY - NOT FOR CONSTRUCTION

CITY PARCELS

COUNTY PARCELS



S

LLC

DG

DRAWN:

OB NO.: 476 DATE: 12/5/2022

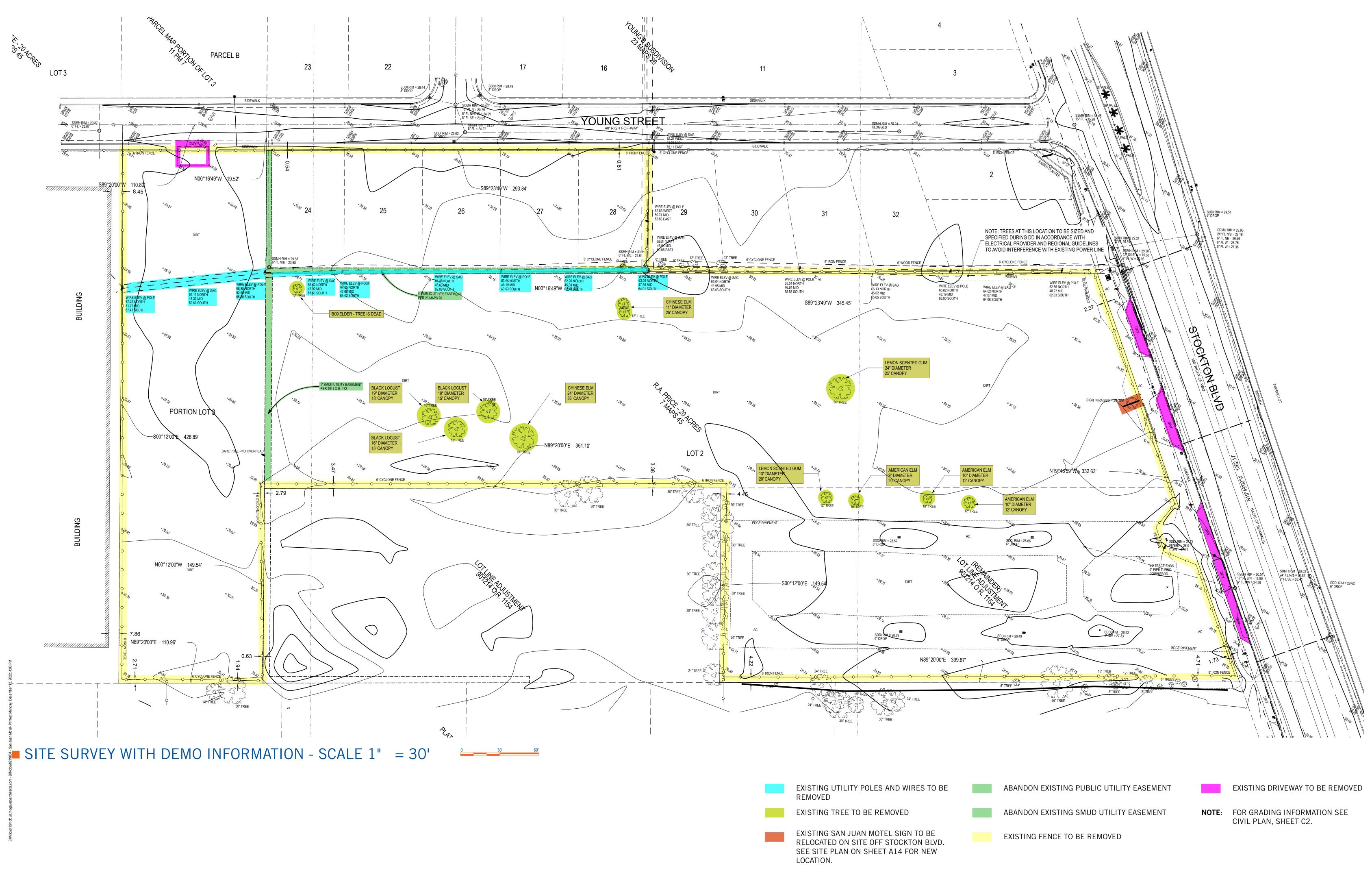
SCALE: 1" = 30'

SHEET

A11

APEX UTILITY 168 Temp

ILITY CONSULTANTS ITemperence River CourtFolsom, CA 95630(916) 417-7062



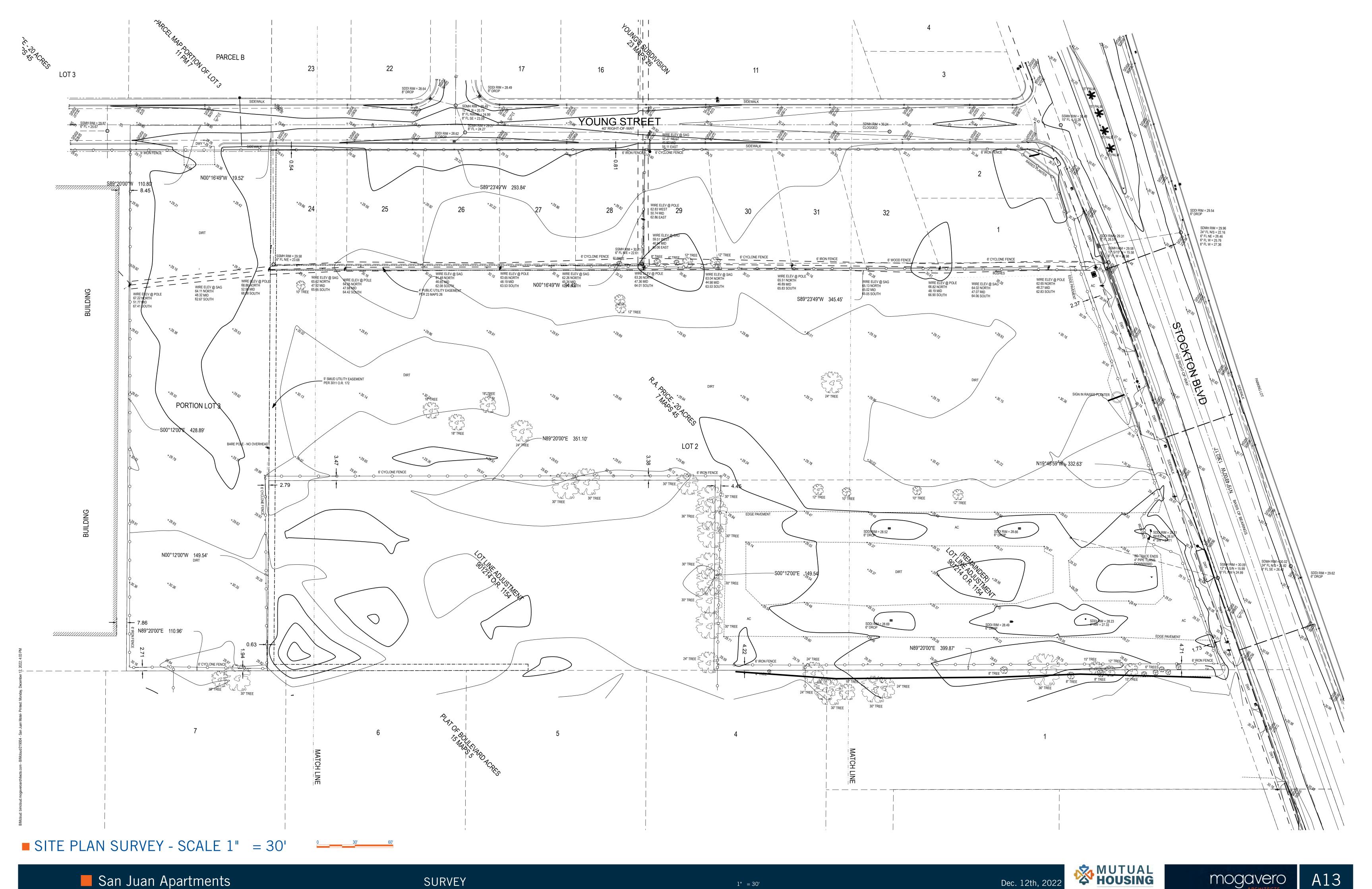
EXISTING CONDITIONS WITH DEMO INFORMATION

1" = 30'







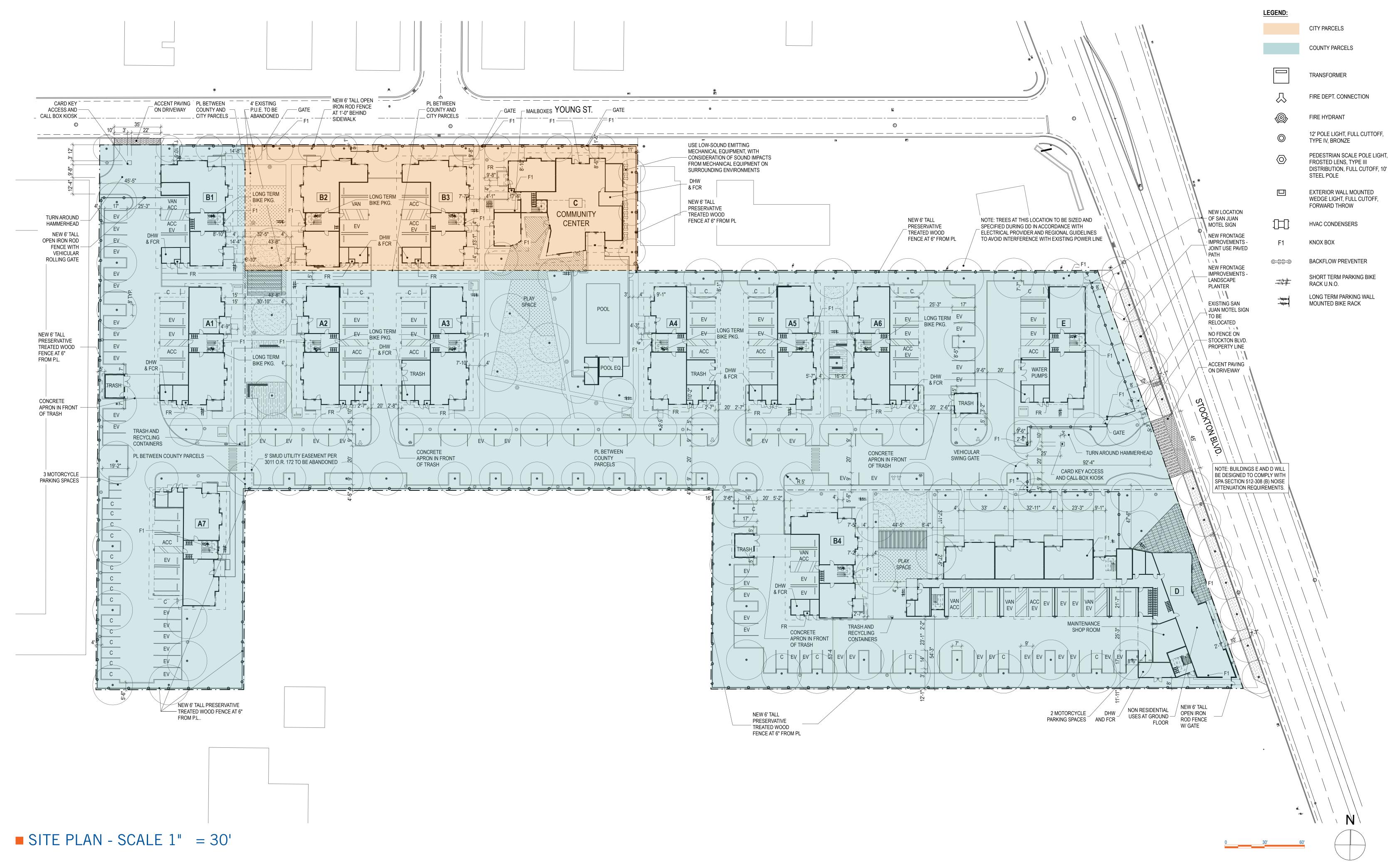


SURVEY



CALIFORNIA SHAPING PLACES · SHAPING LIVES







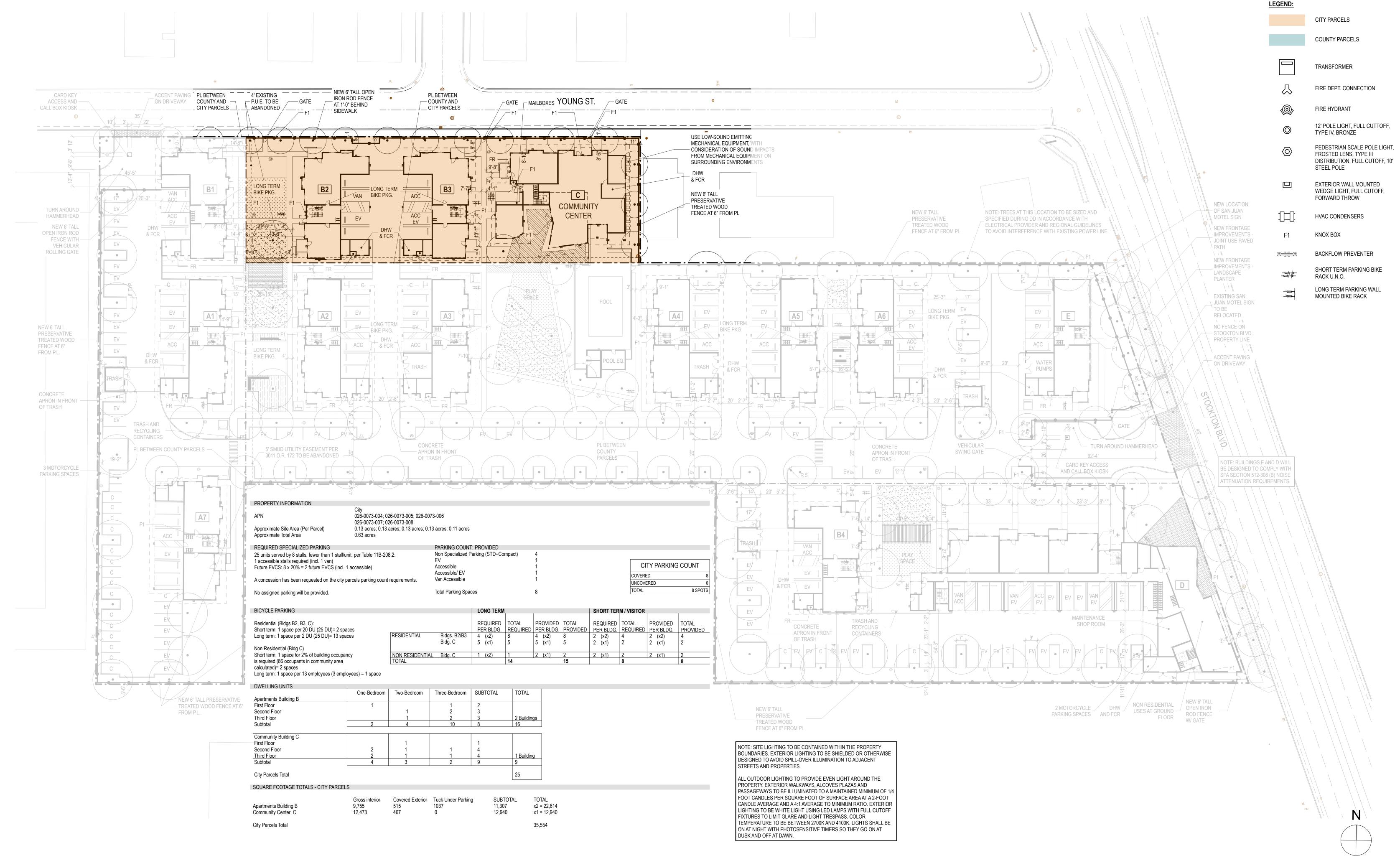
WUTUAL HOUSING

CALIFORNIA SHAPING PLACES . SHAPING LIVES





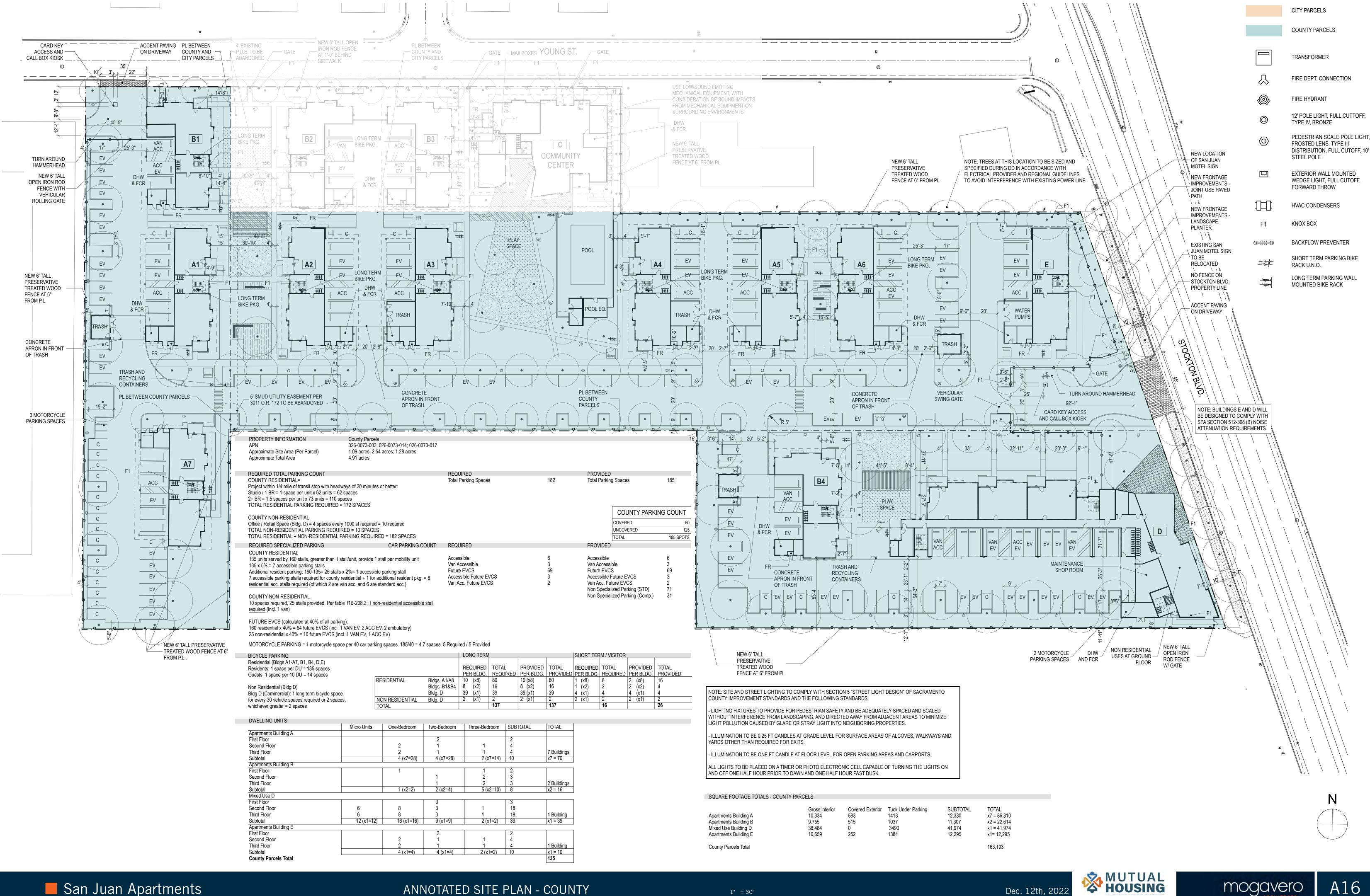




ANNOTATED SITE PLAN - CITY







Dec. 12th, 2022

CALIFORNIA SHAPING PLACES . SHAPING LIVES

LEGEND:

Stockton Boulevard Special Planning Area - SPA 35 feet 0 feet No requirement 20 feet No requirement
0 feet No requirement 20 feet No requirement No requirement No requirement iecause the Stockton Boulevard SPA is located on a heavily traveled roadway, the nine noise attenuation neasures identified in Section 512-305(B) of the SPA must be incorporated into building design of all new esidential structures to reduce interior noise levels: 1) All penetrations of exterior walls shall include a one-half inch airspace. This space shall be filled loosely vith fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non- ardening caulking or mastic. 2) The roof shall be finished with a minimum seven-sixteenths in OSB or ply board of equivalent weight, ninimum thirty (30) lb. felt paper and minimum two hundred forty (240) lb./sq. ft. composition shingles or quivalent. 3) Skylights shall not be used unless they have an STC rating of twenty-nine (29) or better. 4) Windows shall have a minimum STC rating of twenty-eight (28). 5) Windows shall have a minimum STC rating of twenty-eight (28). 5) Windows shall have a minimum STC rating of twenty-nine (29). 7) An HVAC system shall be installed which will provide minimum air circulation and fresh air supply equirements as specified in the Uniform Building Code (UBC). 8) Gravity vent openings in attic space shall not exceed code minimum in size and number. 9) Alternative methods and materials may be used to achieve an interior noise level of forty-five (45) dB Ldn r less, provided that it is substantiated by an acoustical analysis prepared by a qualified acoustical onsultant. 010wing deviations from fencing standards in the Zoning Code are permitted: Wovenwire(i.e., chain-linkfencing)is eremitted along rear and interior property lines. Use Permit approved by Zoning Administrator required for voven wire fence along front and side street property lines or setback areas. Use Permit approved by Zoning Administrator required for fencing with concertina wire, razor wire, or arbed wire 2010 Code Multifami
No requirement 20 feet No requirement No requirement No requirement secause the Stockton Boulevard SPA is located on a heavily traveled roadway, the nine noise attenuation neasures identified in Section 512-305(B) of the SPA must be incorporated into building design of all new esidential structures to reduce interior noise levels: 1) All penetrations of exterior walls shall include a one-half inch airspace. This space shall be filled loosely vith fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non- iardening caulking or mastic. 2) The roof shall be finished with a minimum seven-sixteenths in OSB or ply board of equivalent weight, ninimum thirty (30) lb. felt paper and minimum two hundred forty (240) lb./sq. ft. composition shingles or quivalent. 3) Skylights shall not be used unless they have an STC rating of twenty-nine (29) or better. 4) Windows shall have a minimum STC rating of twenty-eight (28). 5) Windows shall have a minimum STC rating of twenty-nine (29). 7) An HVAC system shall be installed which will provide minimum in size and number. 8) Alternative methods and materials may be used to achieve an interior noise level of forty-five (45) dB Ldn r less, provided that it is substantiated by an acoustical analysis prepared by a qualified acoustical onsultant. ollowing deviations from fencing standards in the Zoning Code are permitted: Woreowire(i.e., chain-linkfencing)is eremitted along rear and interior property lines. Use Permit
No requirement No req
No requirement decause the Stockton Boulevard SPA is located on a heavily traveled roadway, the nine noise attenuation neasures identified in Section 512-305(B) of the SPA must be incorporated into building design of all new esidential structures to reduce interior noise levels: 1) All penetrations of exterior walls shall include a one-half inch airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non- ardening caulking or mastic. 2) The roof shall be finished with a minimum seven-sixteenths in OSB or ply board of equivalent weight, ninimum thirty (30) lb. felt paper and minimum two hundred forty (240) lb./sq. ft. composition shingles or quivalent. 3) Skylights shall not be used unless they have an STC rating of twenty-nine (29) or better. 4) Windows shall have a minimum STC rating of twenty-eight (28). 5) Windows shall have an air filtration rate of less than or equal to 0.15 CFM/lineal foot when tested with a wenty-five (25) mile per hour wind per ASTM standards. 5) Sliding glass doors shall have a minimum STC rating of twenty-nine (29). 7) An HVAC system shall be installed which will provide minimum air circulation and fresh air supply equirements as specified in the Uniform Building Code (UBC). 8) Gravity vent openings in attic space shall not exceed code minimum in size and number. 9) Alternative methods and materials may be used to achieve an interior noise level of forty-five (45) dB Ldn r less, provided that it is substantiated by an acoustical analysis prepared by a qualified acoustical onsultant. 010lowing deviations from fencing standards in the Zoning Code are permitted: Wovenwire(i.e., chain-linkfencing)is ermitted along rear and interior property lines. Use Permit approved by Zoning Administrator required for <i>yoven</i> wire fence along front and side street property lines or setback areas. Use Permit approved by Zoning Administrator required for fencing with concertina wir
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Vith fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non-ardening caulking or mastic. 2) The roof shall be finished with a minimum seven-sixteenths in OSB or ply board of equivalent weight, ninimum thirty (30) lb. felt paper and minimum two hundred forty (240) lb./sq. ft. composition shingles or quivalent. 3) Skylights shall not be used unless they have an STC rating of twenty-nine (29) or better. 4) Windows shall have a minimum STC rating of twenty-eight (28). 5) Windows shall have a main filtration rate of less than or equal to 0.15 CFM/lineal foot when tested with a wenty-five (25) mile per hour wind per ASTM standards. 5) Sliding glass doors shall have a minimum STC rating of twenty-nine (29). 7) An HVAC system shall be installed which will provide minimum air circulation and fresh air supply equirements as specified in the Uniform Building Code (UBC). 8) Gravity vent openings in attic space shall not exceed code minimum in size and number. 9) Alternative methods and materials may be used to achieve an interior noise level of forty-five (45) dB Ldn ri less, provided that it is substantiated by an acoustical analysis prepared by a qualified acoustical onsultant. ollowing deviations from fencing standards in the Zoning Code are permitted: Wovenwire(i.e., chain-linkfencing) is ermitted along rear and interior property lines. Use Permit approved by Zoning Administrator required for yoven wire fence along front and side street property lines or setback areas. Use Permit approved by Zoning Administrator required for fencing with concertina wire, razor wire, or arbed wire
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or porches, stoops, patios, bay windows, balconies into the: ront yard = 8 ft ide Yard = 3 ft lear Yard = 3 ft
or awnings, bay windows, upper floors: Front Yard: 3 ft maximum With 8ft minimum height clearance from top of sidewalk
Dne-story: 25 ft Wo-story: 50 ft Inree-story: 75 ft Accessory structures: 10 ft setback for one-story enclosed garages, carports and accessory structures such as ool sheds Defer to SPA development standards
0% (detached)
equired for 10 units or more
0 sf / unit 0 cubic feet / unit
1 ft from public right-of-way; 25 ft from residential zones or property used for residential purposes; and 15 t from edge of pavement of a private road easement. Located within enclosed masonry area with 6 to 8 ft tall vall, and solid gate
Il development standards shall be continuously met for every project. Buildings and premises, including aint/siding, roofs, windows, fences, parking lots, and landscaping shall be kept in good repair. Premises shall he kept free of junk, debris, and abandoned vehicles.
Defer to SPA development standards
treet design and width shall be confirmed with the Fire Department. For driveway access with 10 or fewer units, a T-shaped turnaround shall be allowed. A dimension of 20 ft by 0 t will accommodate most vehicles. Dead end driveways shall be less than 150 ft long, and have appropriate turnarounds as needed. Circular cul-de-sacs shall be designed with a radius of 40 ft or less to the greatest extent possible. Theminimumwidthsforinternalstreetsor driveways, per Fire Department Standards, shall be as follows: Foruncurbeddrivewayswithnoparallel arking when a fire lane is not necessary: 6 ft For curbed internal streets with no parallel arking: 19 ft For curbed internal street with parallel arking on one side: 28 ft For curbed internal street with parallel arking on both sides: 36 ft

<u>NOTES</u>: 1. A CONCESSION OR WAIVER IS REQUESTED AT THE ITEMS WHERE THE PROJECT IS NOT COMPLIANT.

Lighting requirements	Site and street lighting shall con Improvement Standards and the - Lighting fixtures shall provide f interference from landscaping, a glare or stray light into neighbo - Illumination shall be 0.25ft-ca than required for exits. - Illumination shall be one ft-car All lights shall be placed on a tin hour prior to dawn and one- hal
	Zoning Code Parking, Si
Landscaping of setback and frontage areas	8 ft wide planter, with trees pla
Frontage landscaping adjacent to buildings	Between right-of-way and build other groundcover
Landscape screening adjacent to residential parcels	Minimum 7 ft wide continuous zoned for residential purposes,
Landscape screening for trash enclosures	5 ft landscape planter around th
Parking lot landscaping	Landscape island (minimum 8 ft
Parking lot shade requirement	For 50+ parking spaces, 50% sha
	Walls
Front and side street yards	Multifamily use: Only open orna back of the sidewalk. Institution ornamental fences such as wrou fence located along a public right
Adjacent to residential zoning districts	Multifamily and institutional us provided along the interior prop pedestrian connections are need at least 6 ft in height shall be pro located adjacent to residential a
Parking requirement, multifamily residential development	Project within 1/4-mile of trans space Two+bedrooms – 1.5 space Visitor – 0.25 space (required if
Additional multifamily residential parking requirements	See 5.9.2.A.1(b) – (h), additiona - One parking space per unit sha - Paved surface parking shall be minimum 7 ft landscape strip - Americans with Disabilities Act - Tuck under and subterranean p density zoning districts.

COUNTY COMPLIANCE STANDARDS

comply with Section 5, "Street Light Design" of the Sacramento County the following standards.

de for pedestrian safety and be adequately spaced and scaled without g, and directed away from adjacent areas to minimize light pollution caused by boring properties.

-candles at grade level for surface areas of alcoves, walkways, and yards other

candle at floor level for open parking areas and carports.

timer or photo electronic cell capable of turning the lights on and off one half half hour past dusk.

Signage, Wall and Fences, and Landscaping Development Standard blanted 30 ft on center (4 to 10 ft behind back of sidewalk) ildings, trees planted 30 ft on center (4 to 10 ft behind back of sidewalk) and

us landscape planter adjacent to interior property lines of all adjoining parcels s, trees planted 5 to 10 ft from required fencing

the perimeter of trash enclosure

8 ft wide, 40 sf) every eight parking spaces

hade tree requirement

Ils/Fencing Requirements (see SPA for exceptions) rnamental security fences may be located directly outside and adjacent to the ional and commercial uses: Fences are not permitted, except that open

rought iron are permitted on the property line along a public right-of-way. Any right-of-way shall be placed behind sidewalks and required landscaping.

l uses: Either a solid wood fence or masonry wall of at least 6 ft in height shall be roperty lines when located adjacent to residential zoning districts, except where eeded. Commercial uses: A masonry wall of

provided along the interior property lines for all commercial, projects when al zoning districts, except where pedestrian connections are needed. Parking Requirements

ansit stop, with headways of 20 minutes or better: Studio / one bedroom – 1

l if parking is assigned)

nal standards include: shall be covered (carport or garage);

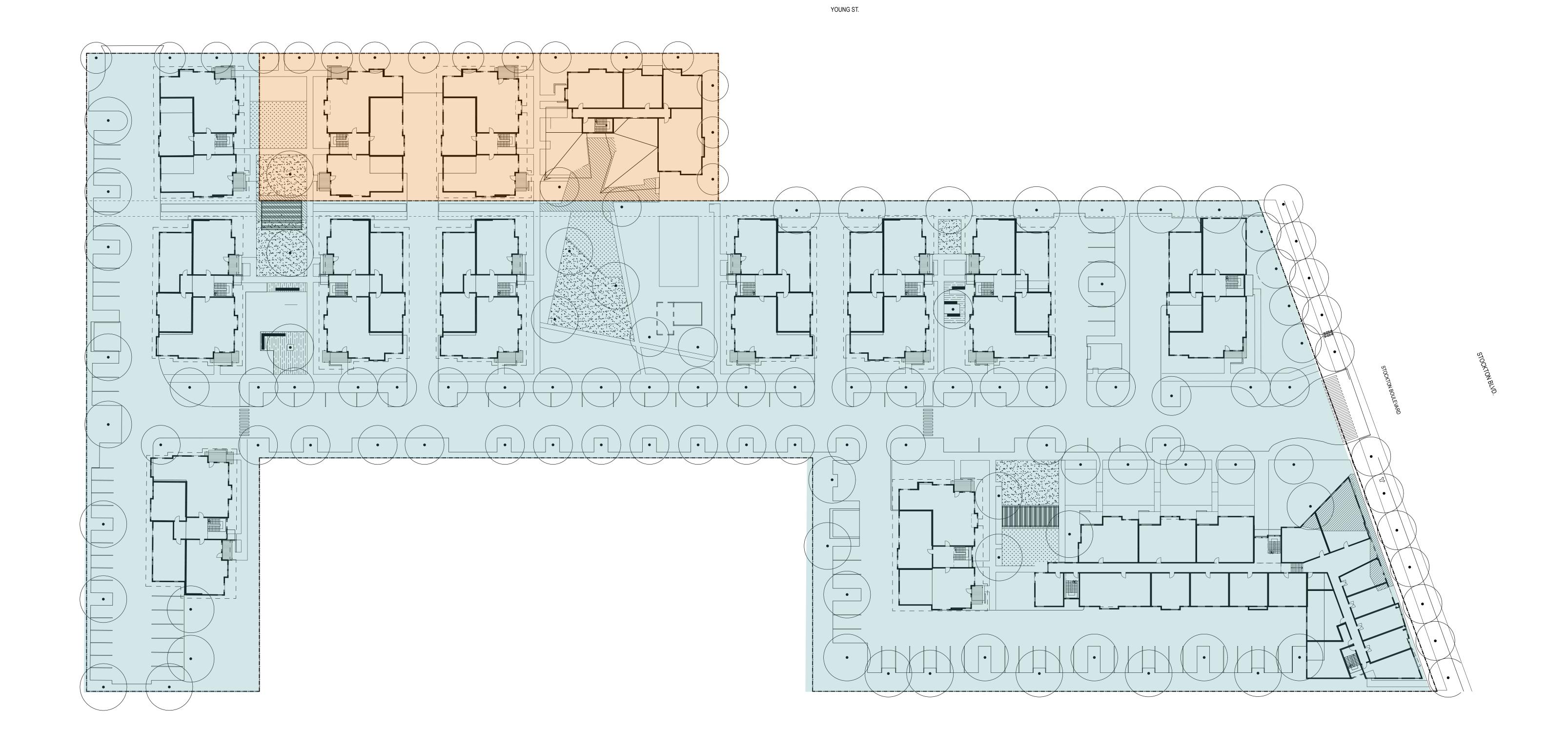
be separated from residential buildings by a minimum 4 ft walkway and/or

Act (ADA) requirements shall be met an parking may be permitted for project sin the RD-20 or higher

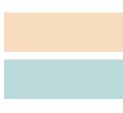
- Additional provisions if parking is assigned.

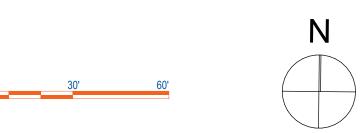






SITE - SECOND FLOOR - SCALE 1" = 30'









CALIFORNIA SHAPING PLACES + SHAPING LIVES







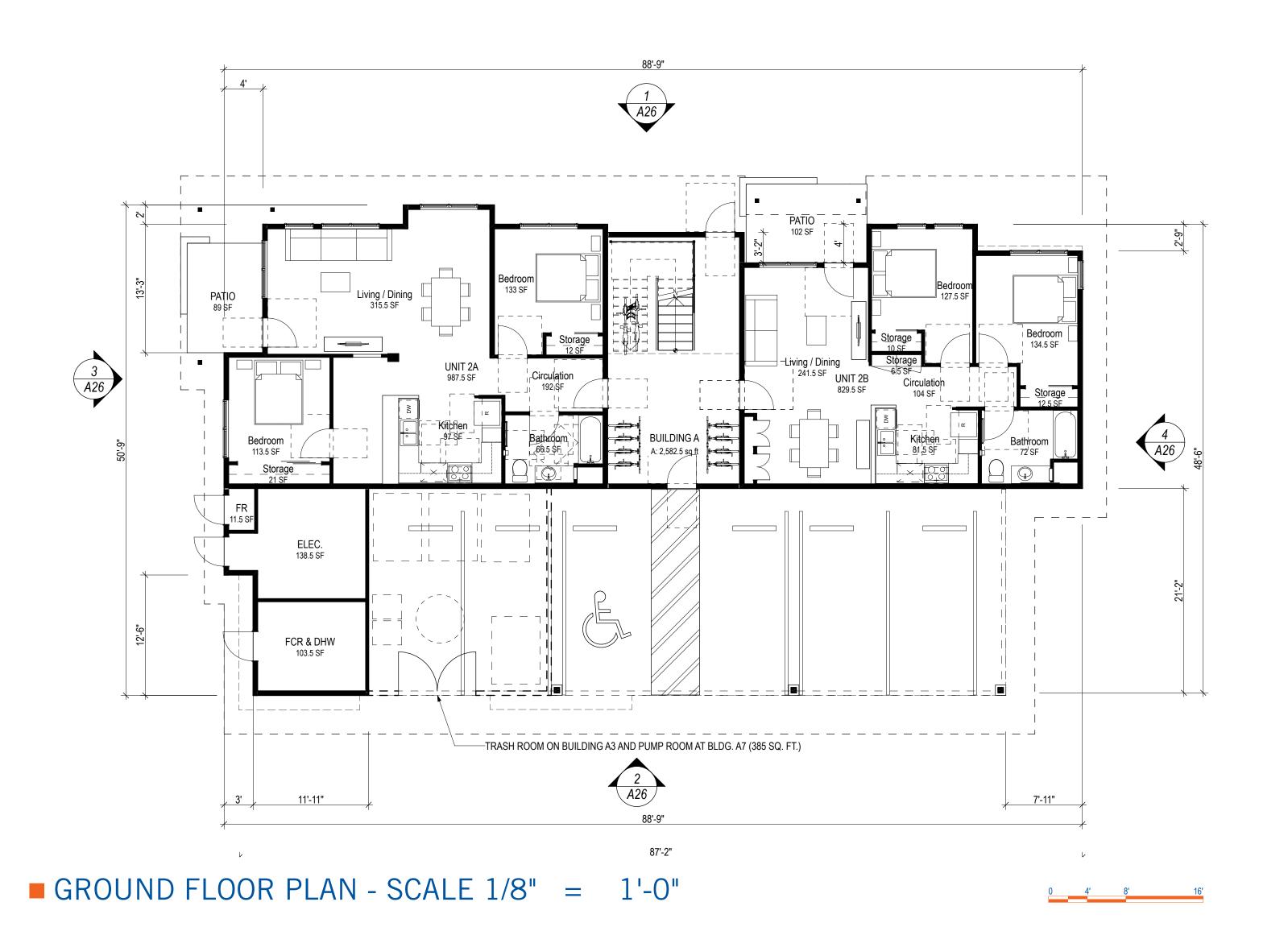


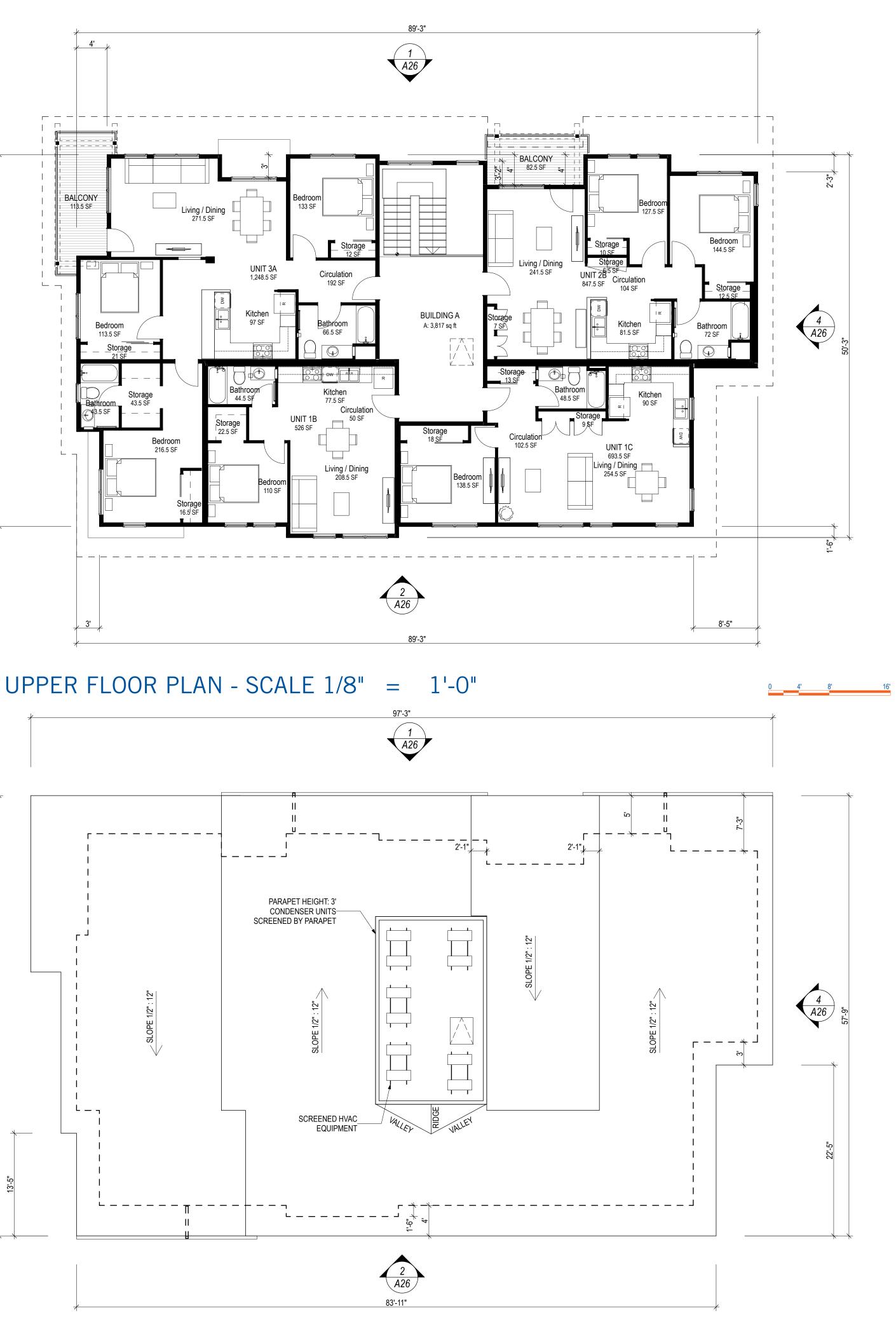


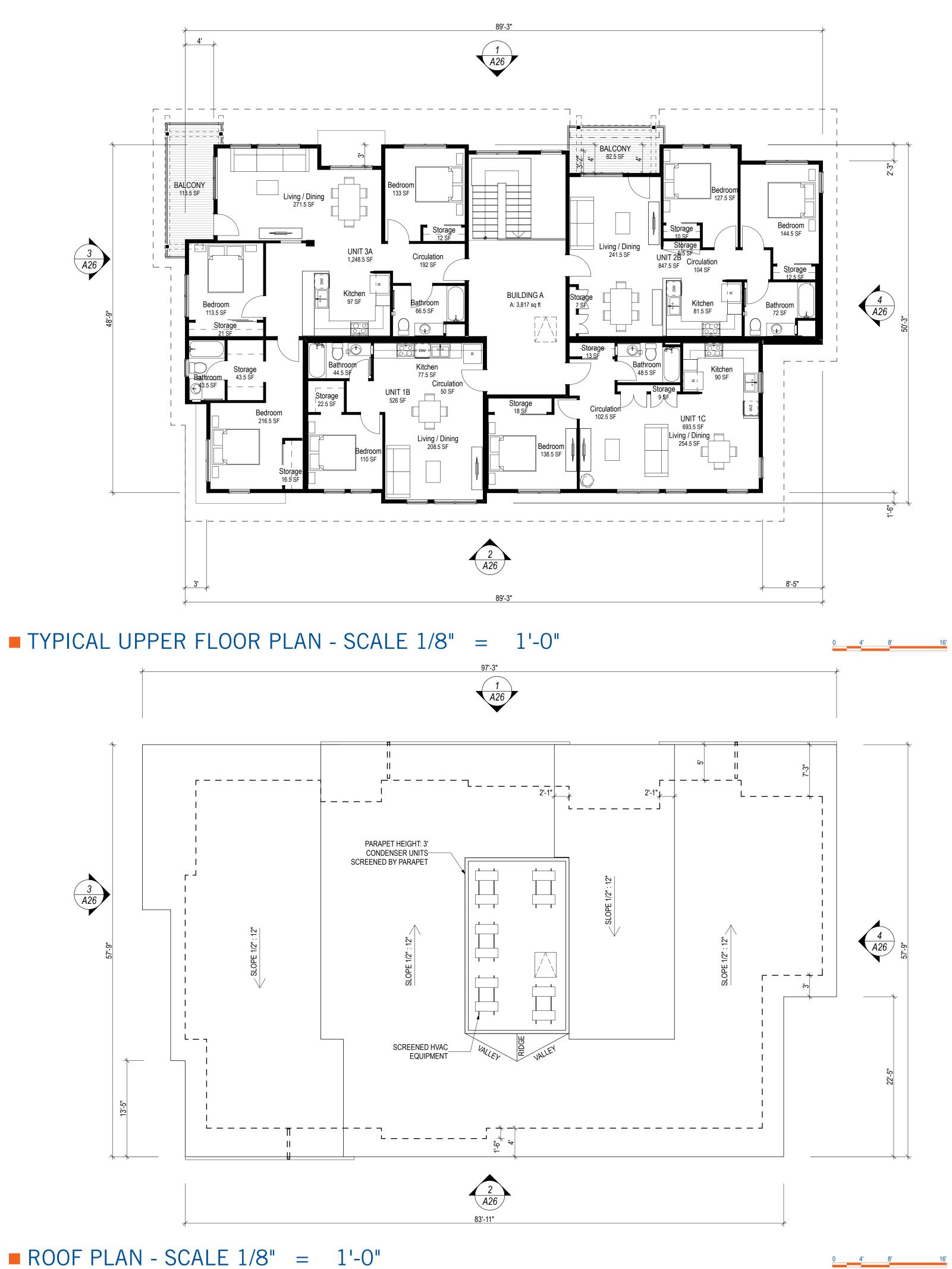










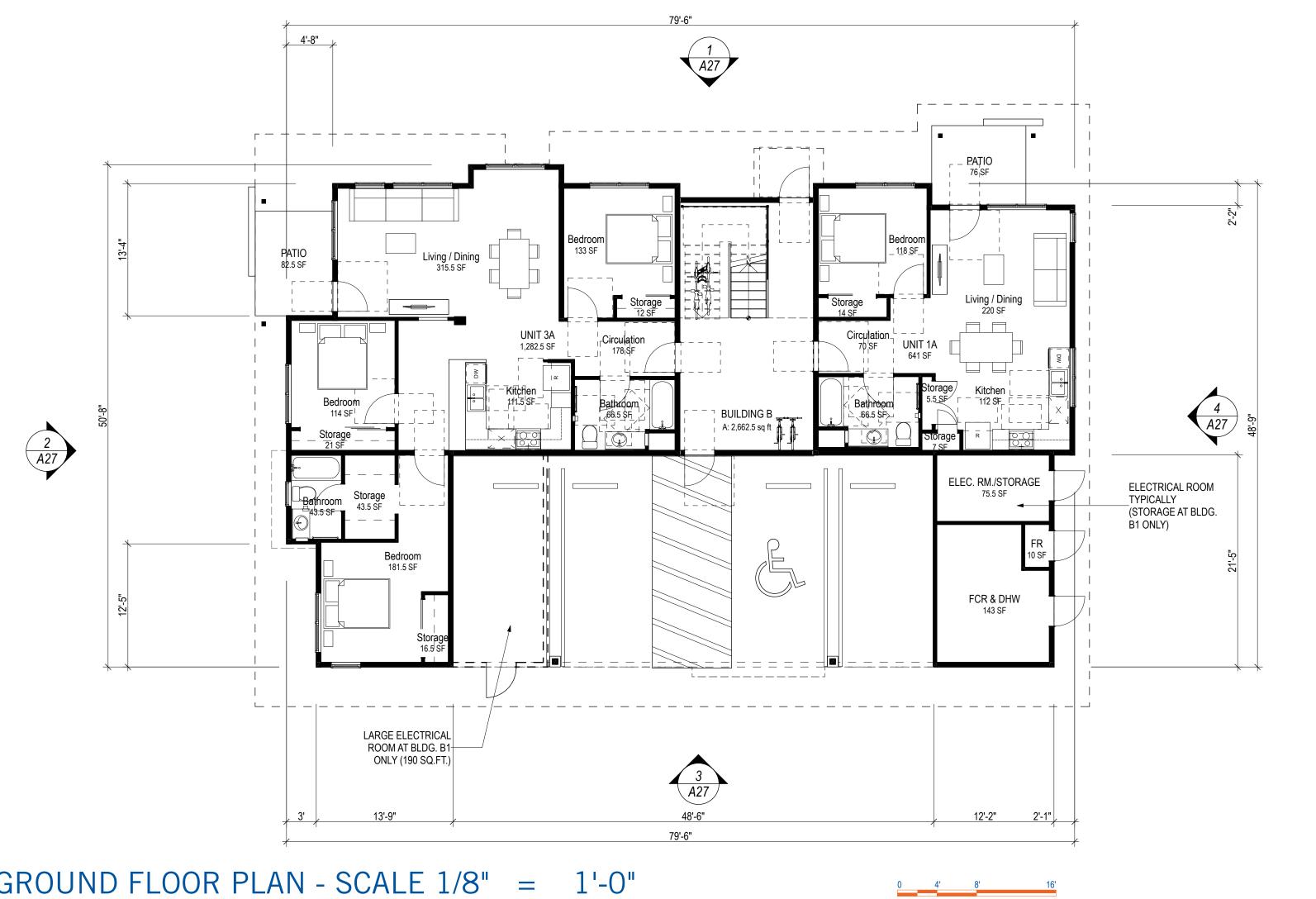


RESIDENTIAL BUILDING A - FLOOR PLANS

Dec. 12th, 2022



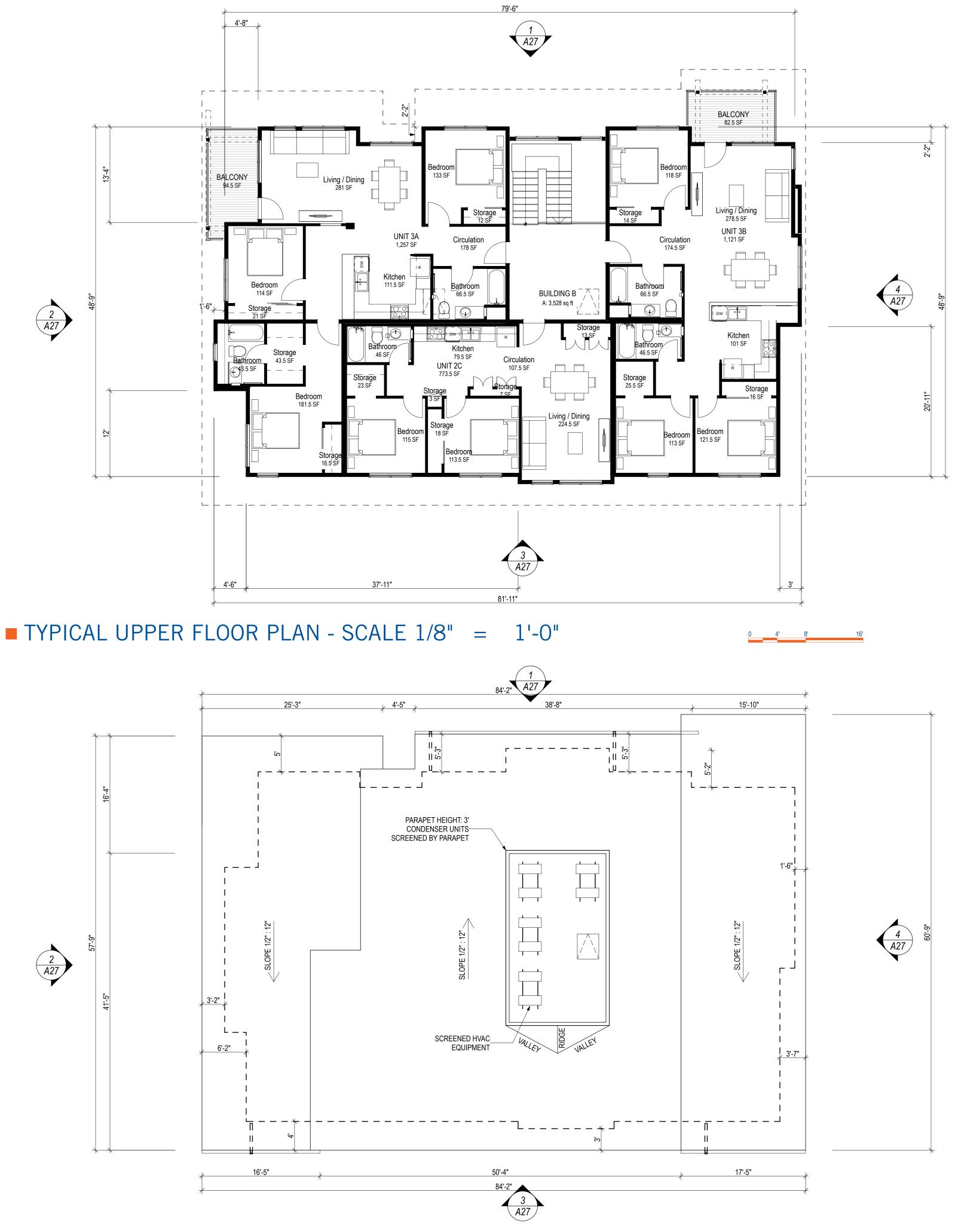
MOGAVERO



■ GROUND FLOOR PLAN - SCALE 1/8" = 1'-0"

San Juan Apartments





■ ROOF PLAN - SCALE 1/8" = 1'-0"

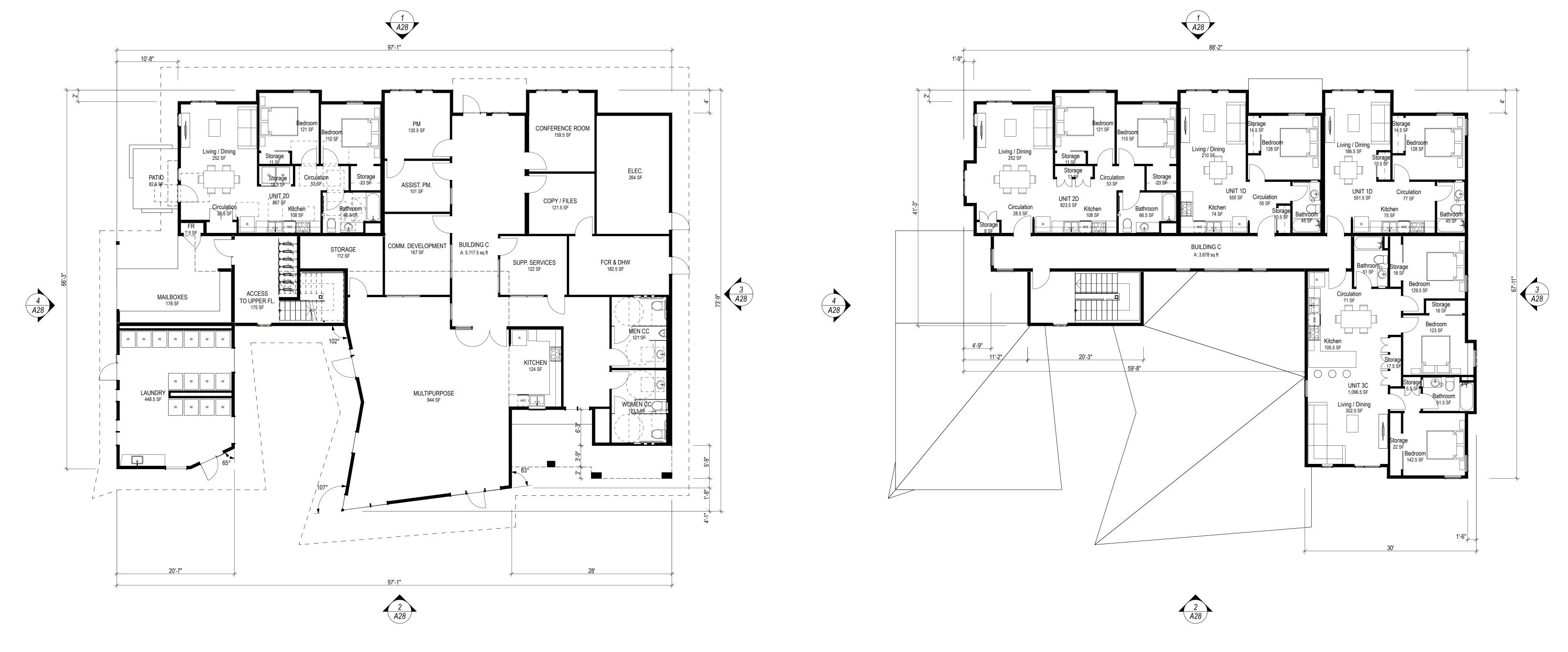
RESIDENTIAL BUILDING B - FLOOR PLANS

Dec. 12th, 2022



GROUND FLOOR - SCALE 1/8" = 1'-0"







SECOND FLOOR - SCALE 1/8" = 1'-0"

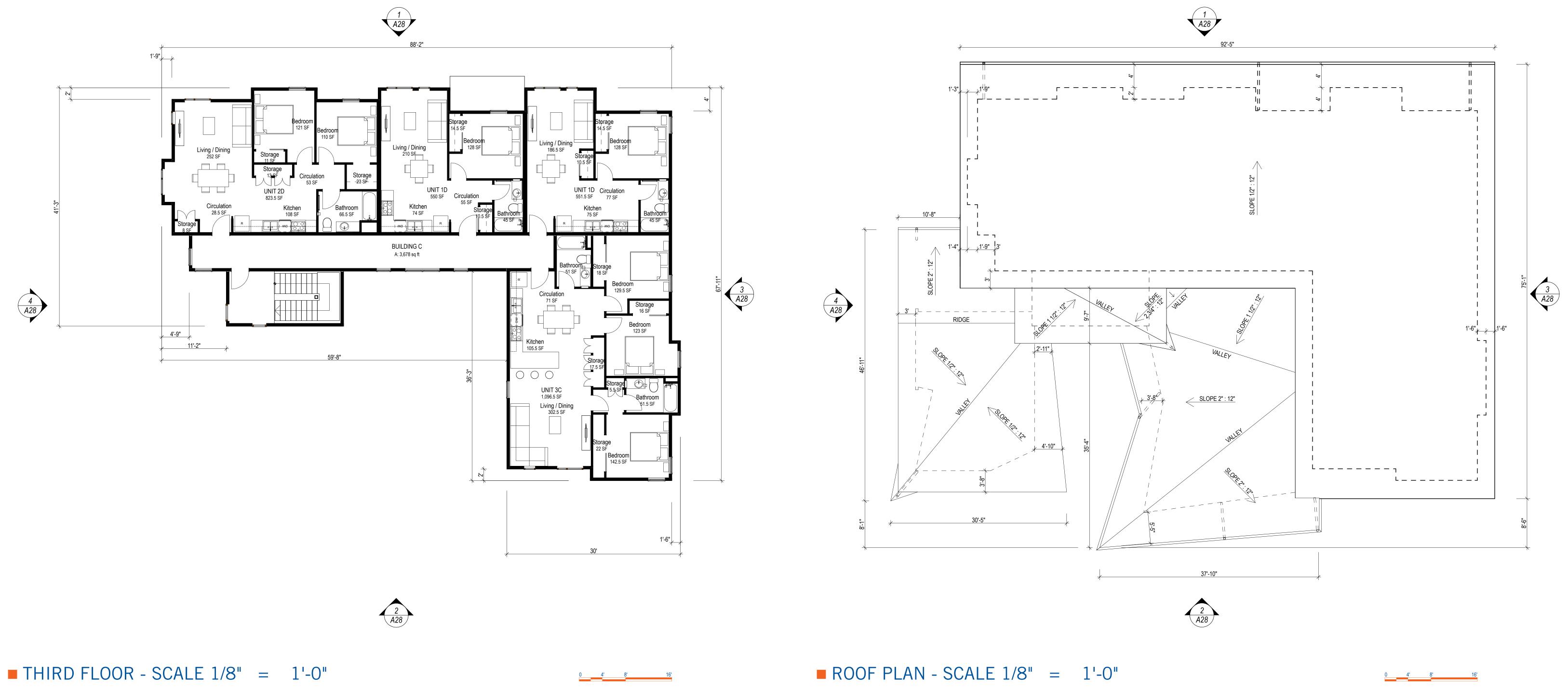
COMMUNITY BUILDING C - FLOOR PLANS

4' 8'







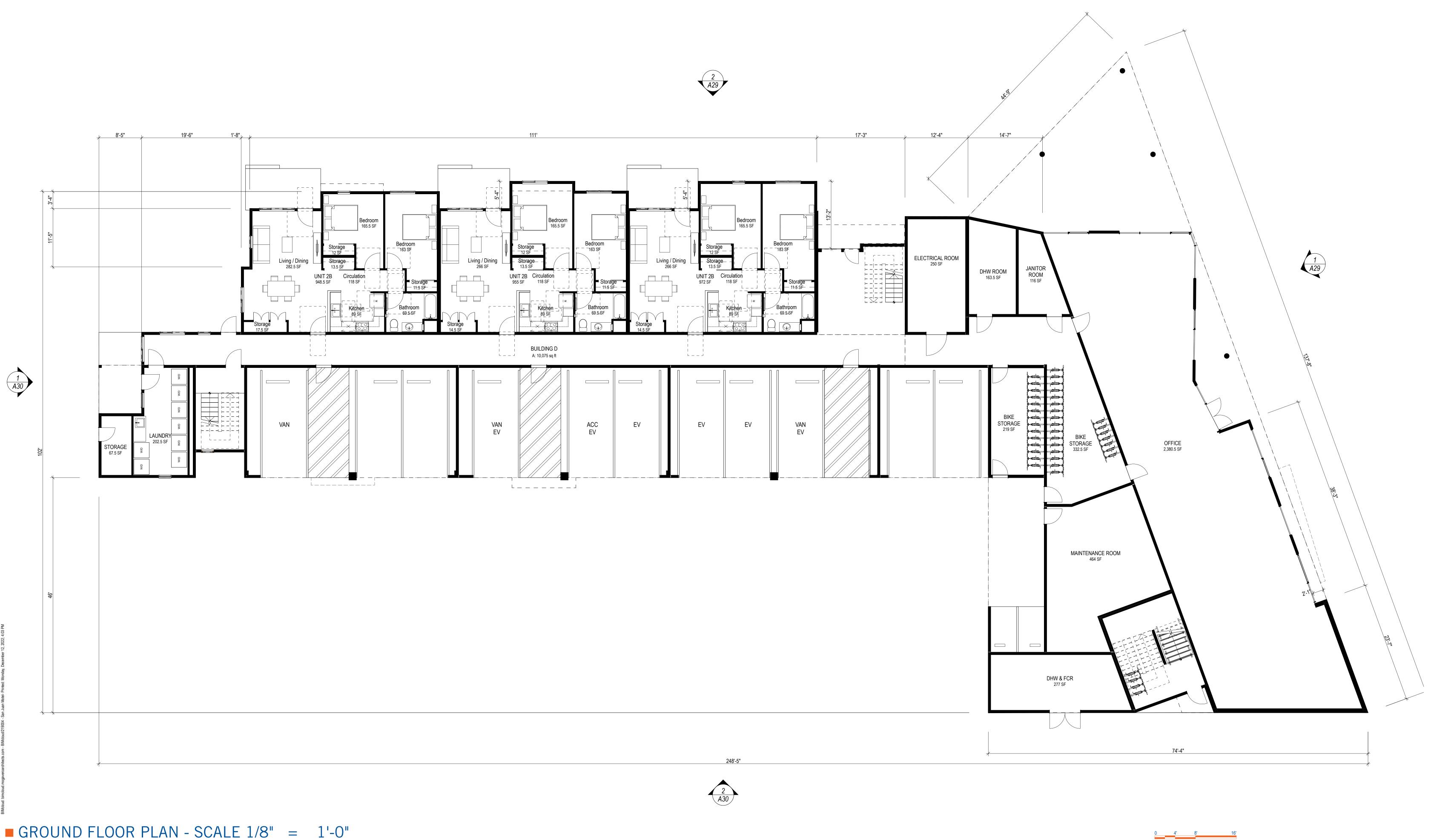




San Juan Apartments







San Juan Apartments

CALIFORNIA SHAPING PLACES + SHAPING LIVES

WUTUAL HOUSING





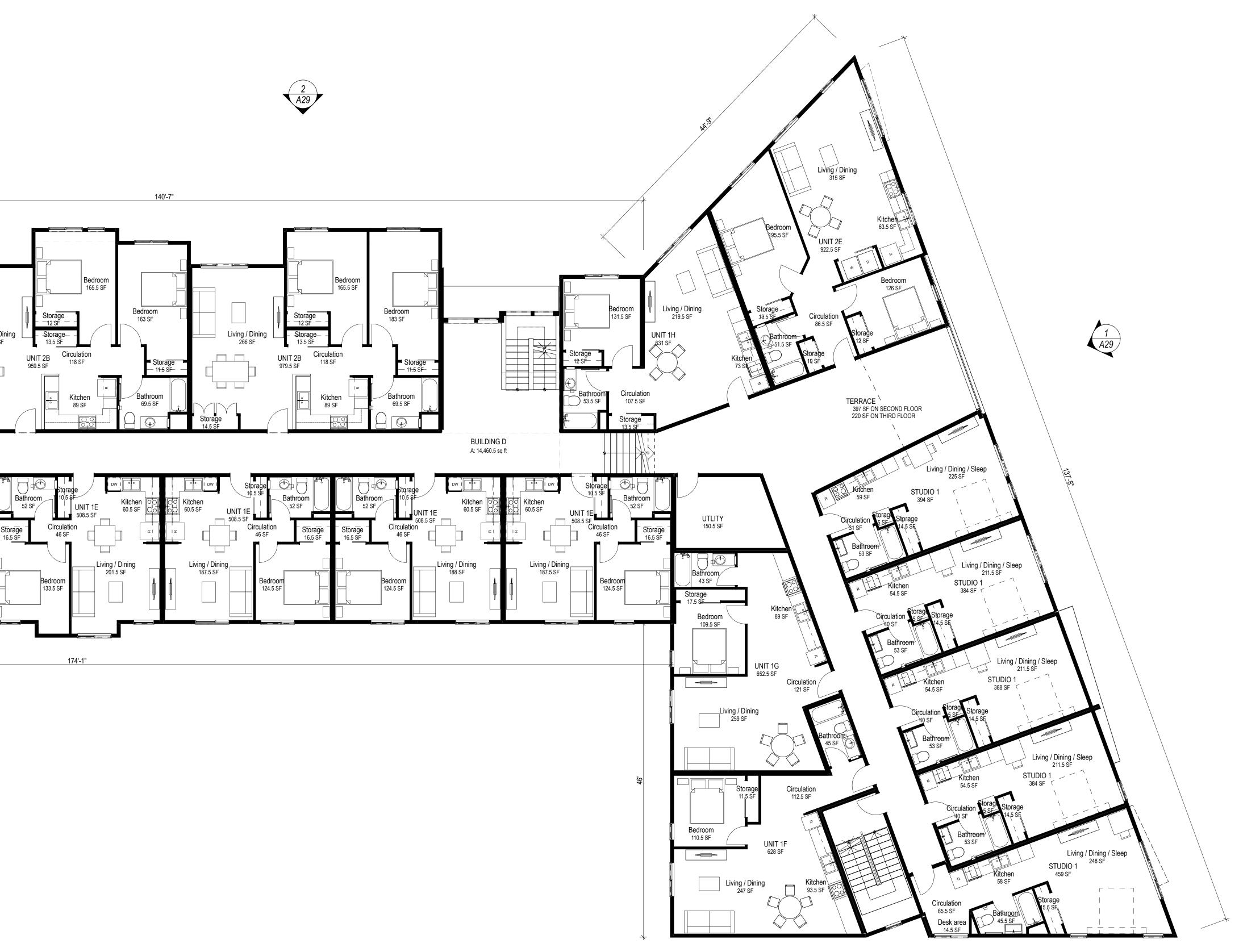
Bedroom 165.5 SF Bedroom 163 SF torage Living / Dining Living / Dining -Storage-13.5 SF 282.5 266 SF Circulatior 118 SF UNIT 2B 975.5 SF - 11.5 SF-Kitchen 89 SF — Storage _____18.5 SF Kitchen 77 SF Bathroom 53.5 SF UNIT 3D 947 SF Living / Dining / Sleep 262 SF Circulation 97.5 SF athroo 45.5 SF Storage--Storage – 11.5 <u>SF</u> - <u>Storage</u> <u>1</u>2.5 SF STUDIO 2 377.5 SF Storage 10.5 SF Living / Dining 233 SF Kitchen 60.5 SF Bathroom 40.5 SF

29'-6"

■ TYPICAL UPPER FLOOR PLAN - SCALE 1/8" = 1'-0"







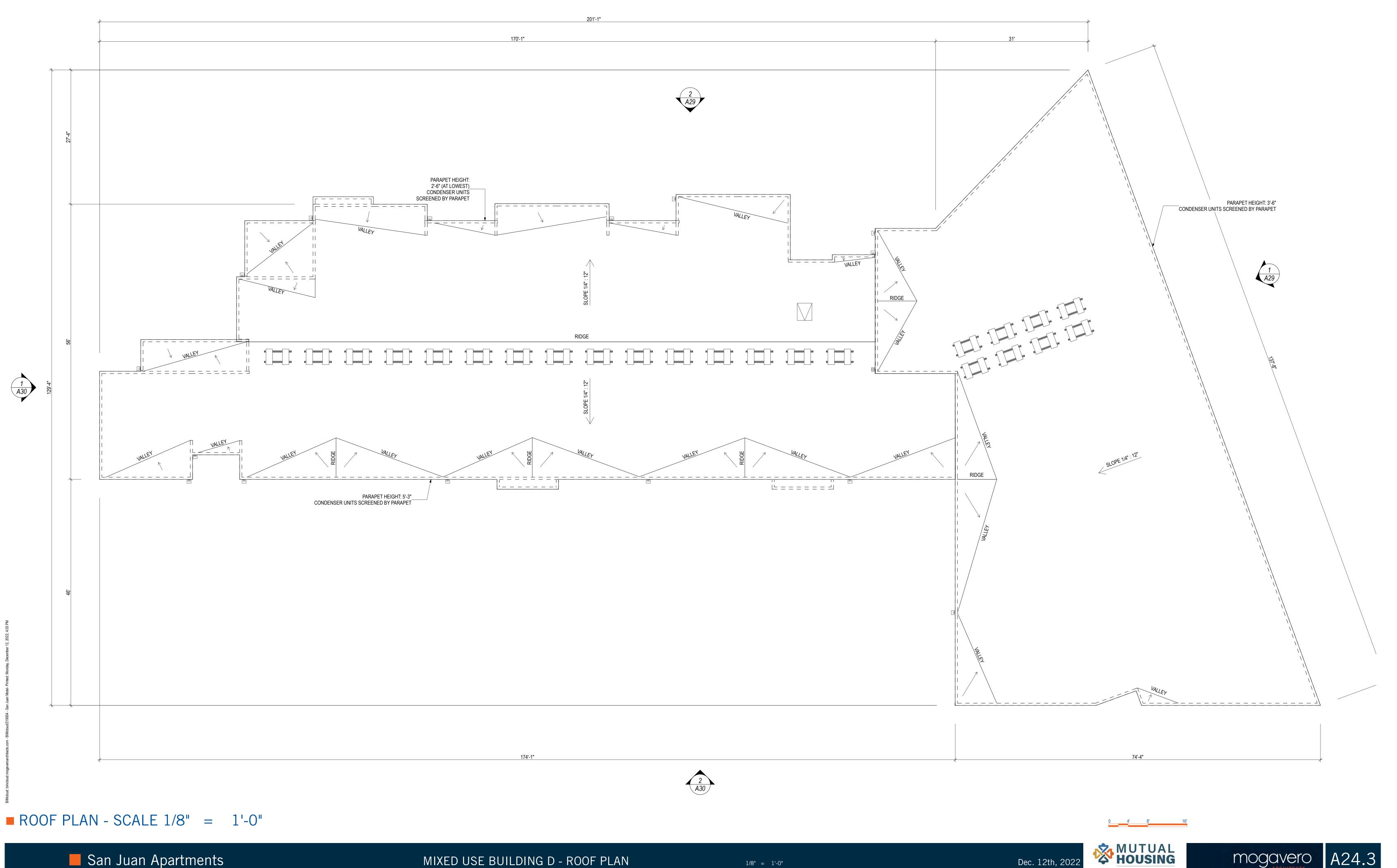


74'-4"

WUTUAL HOUSING

CALIFORNIA SHAPING PLACES + SHAPING LIVES



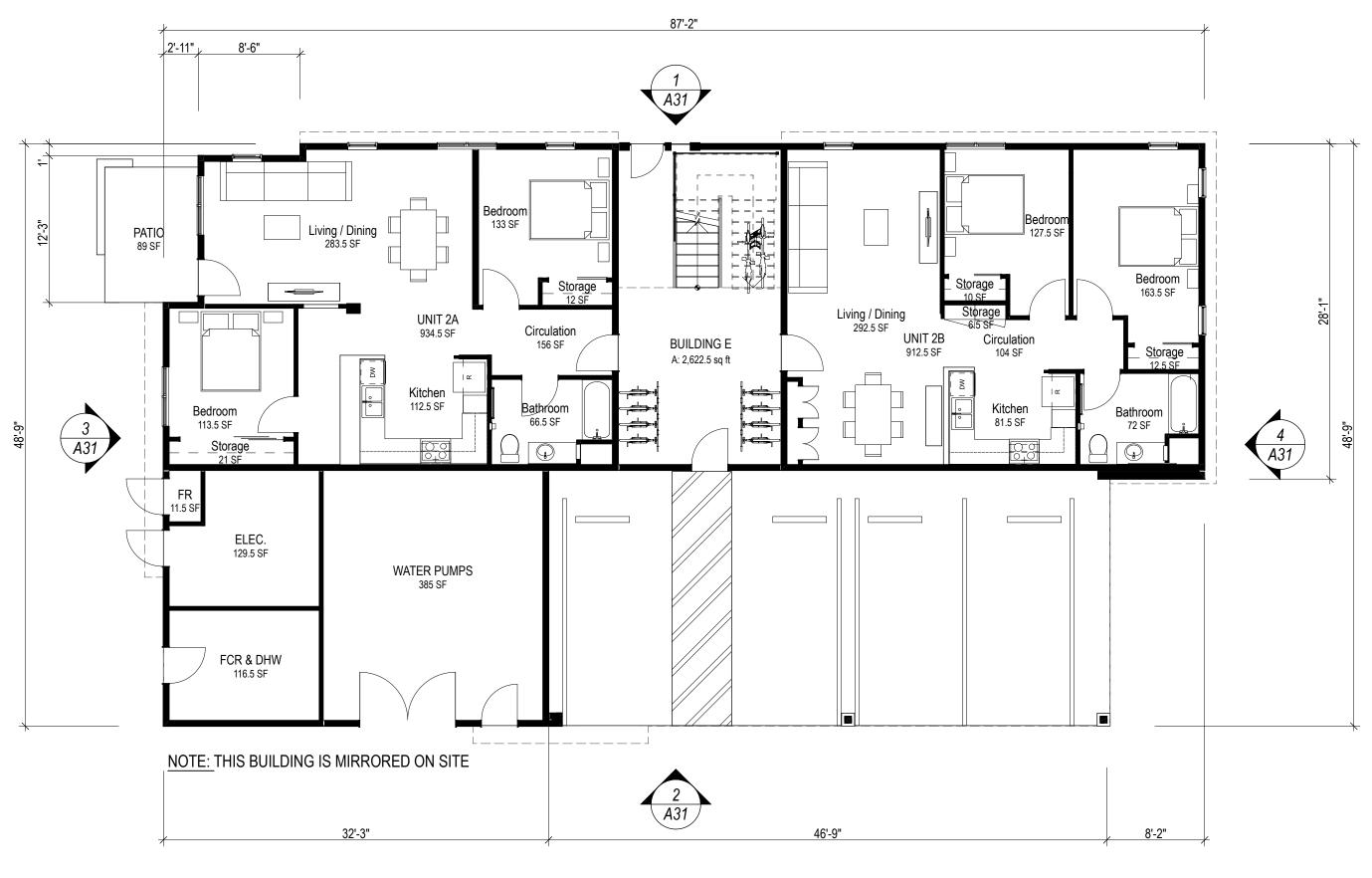


San Juan Apartments

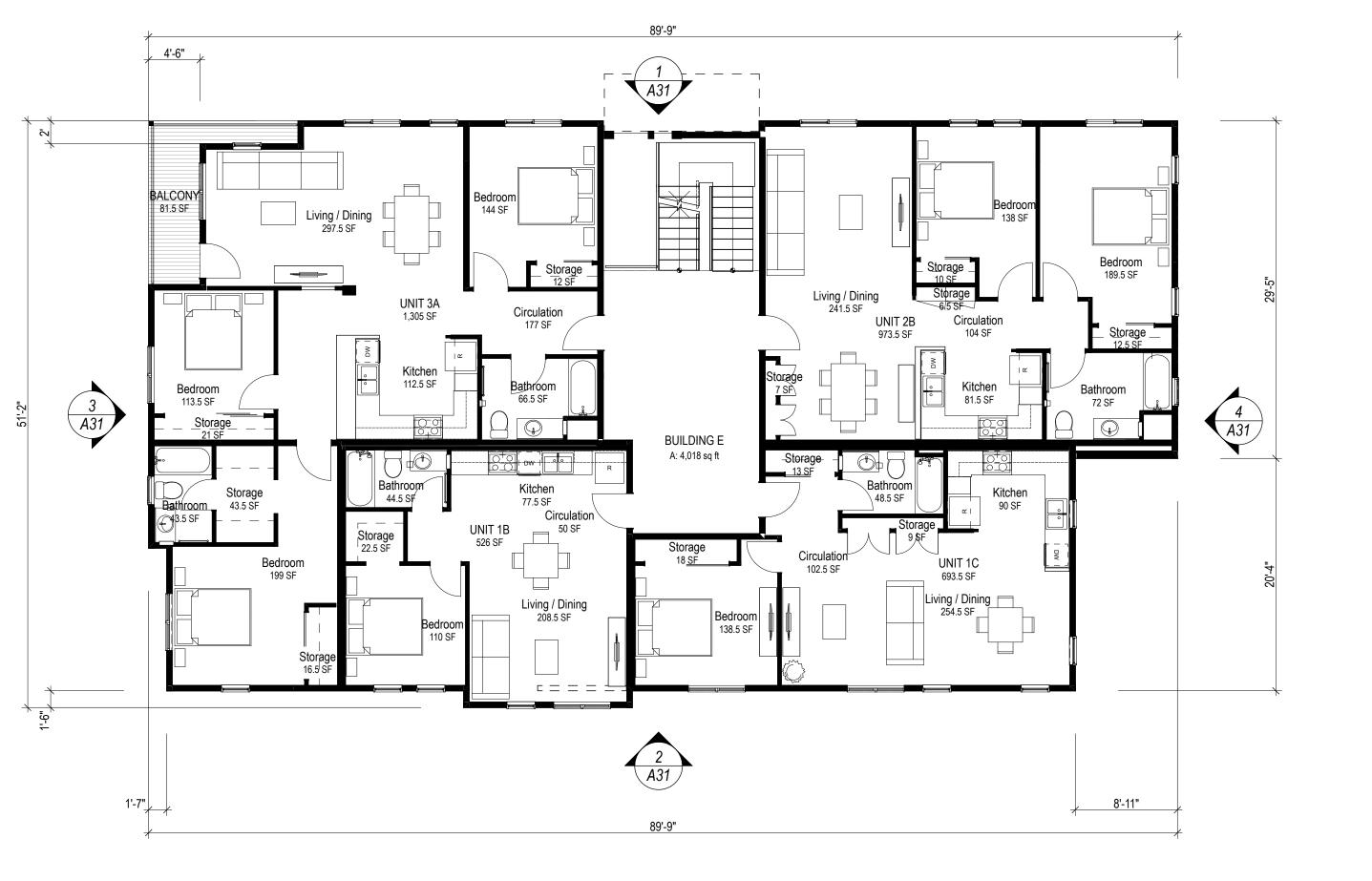
MIXED USE BUILDING D - ROOF PLAN

CALIFORNIA SHAPING PLACES . SHAPING LIVES

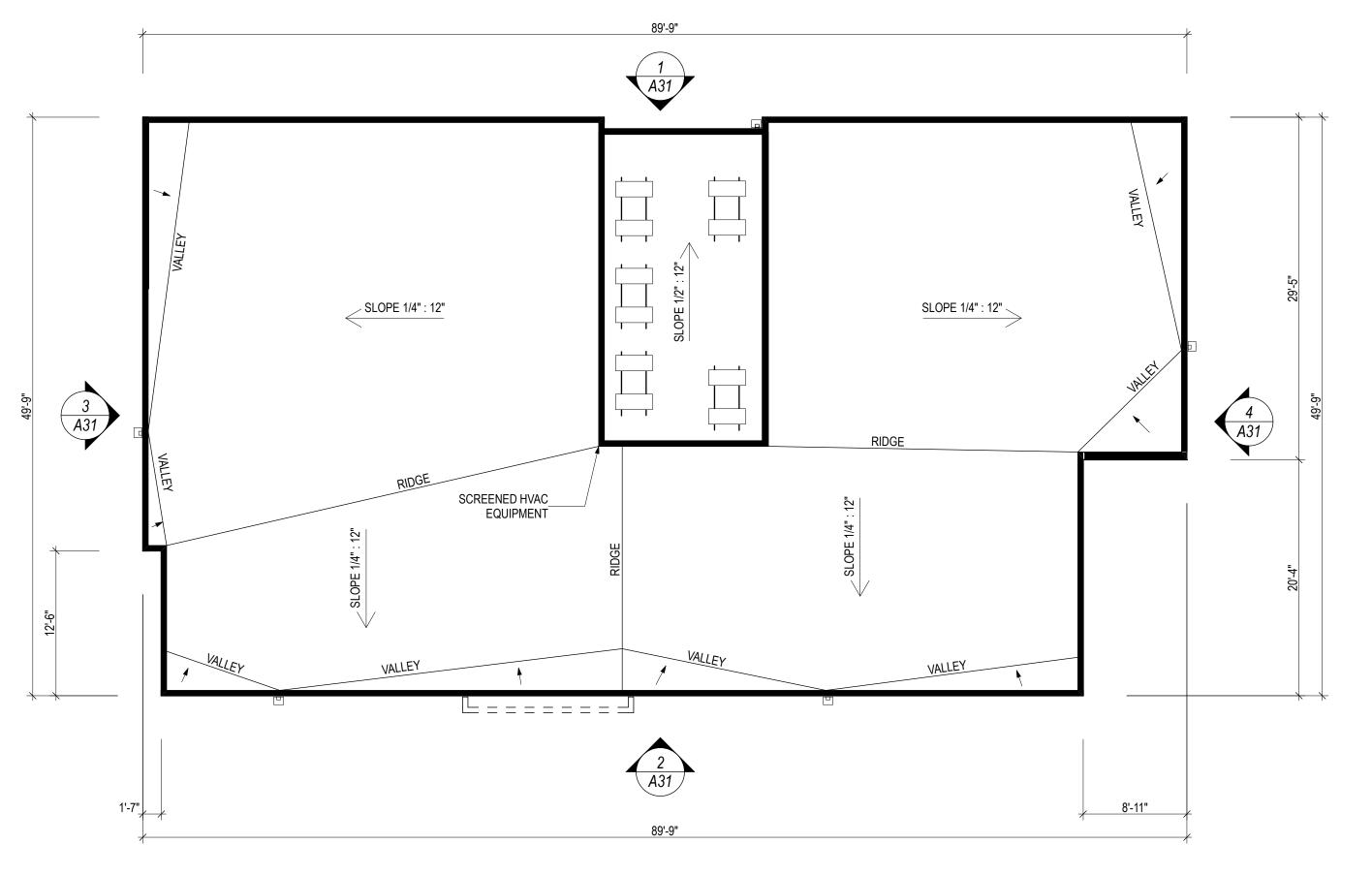
mogavero



■ GROUND FLOOR PLAN - SCALE 1/8" = 1'-0"



TYPICAL UPPER FLOOR PLAN - SCALE 1/8" = 1'-0"



■ ROOF PLAN - SCALE 1/8" = 1'-0"









BUILDING A EAST ELEVATION - BLDG. A1, A3, A5, A7 WEST ELEVATION - BLDG. A2, A4, A6 - SCALE 3/32" = 1'-0"



BUILDING A WEST ELEVATION BLDG. A1, A3, A5, A7 EAST ELEVATION - BLDG. A2, A4, A6 - SCALE 3/32" = 1'-0"

EXTERIOR ELEVATION KEYNOTES:

WHITE TPO ROOFING MEMBRANE. BRICK BLOCK – MUDDOX SUMMER WHEAT. 02

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- HORIZONTAL 8" FIBER CEMENT LAP SIDING PAINTED CALIFORNIA SAGEBRUSH DET513.
- HORIZONTAL 4" SIDING JAMES HARDIE LIGHT MIST. HORIZONTAL 4" SIDING JAMES HARDIE EVENING BLUE.
- HORIZONTAL 4" SIDING JAMES HARDIE ARCTIC WHITE.
- BOARD AND BATTEN FIBER CEMENT SIDING PAINTED JACKBLACK DE6371. VINYL WINDOWS & DOORS – MILGARD BRONZE WITH CLEAR, LOW EMISSIVITY GLAZING.
- FIBER CEMENT FASCIA PAINTED LEGENDARY GREY DE6369.
- STOREFRONT WITH BRAKE METAL SYSTEM WITH CLEAR, LOW EMISSIVITY GLAZING. 10
 - GRAY TPO ROOFING MEMBRANE CONTOUR RIBS 16" O.C.
- 12 CITADEL PANEL BATTLESHIP GREY.

- HORIZONTAL 4" SIDING JAMES HARDIE PEARL GRAY. BRICK PATTERN
- 14
- CITADEL PANEL CHARCOAL GREY. FIBER CEMENT PANELS, PAINTED CLASSIC WHITE DEHW08.
- BRICK BLOCK MUDDOX EBONY. 8" HORIZONTAL SIDING JAMES HARDIE – GRAY SLATE.
- FIBER CEMENT FASCIA PAINTED DANGEROUS ROBOT DE6387.
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- SCREENED HVAC EQUIPMENT. 6' TALL WOOD FENCE.
 - 6' TALL WOOD FENCE AT PROPERTY LINE.
 - SLATTED LOCKABLE TRASH ENCLOSURE DOORS FOR VISIBILITY. JAMES HARDIE FIBER CEMENT PANELS (SMOOTH) - BOOTHBAY BLUE

■ BUILDING A SOUTH ELEVATION - BLDG. A1, A3, A4, A6, A7 - SCALE 3/32" = 1'-0"



■ BUILDING A NORTH ELEVATION - SCALE 3/32" = 1'-0"

RESIDENTIAL BUILDING A - ELEVATIONS



BUILDING A ALTERNATIVE SOUTH ELEVATION - BLDG. A2 & A5 - SCALE 3/32" = 1'-0"



SHAPING PLACES . SHAPING LIVES







BUILDING B EAST ELEVATION - BLDG. B1, B3, B4 WEST ELEVATION - BLDG. B2 - SCALE 3/32" = 1'-0"



BUILDING B WEST ELEVATION - BLDG. B1, B3, B4 EAST ELEVATION - BLDG. B2 - SCALE 3/32" = 1'-0"

EXTERIOR ELEVATION KEYNOTES:

WHITE TPO ROOFING MEMBRANE. 01 BRICK BLOCK - MUDDOX SUMMER WHEAT. 02

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- HORIZONTAL 8" FIBER CEMENT LAP SIDING PAINTED CALIFORNIA SAGEBRUSH DET513.
- HORIZONTAL 4" SIDING JAMES HARDIE LIGHT MIST. HORIZONTAL 4" SIDING JAMES HARDIE EVENING BLUE.
- HORIZONTAL 4" SIDING JAMES HARDIE ARCTIC WHITE.
- BOARD AND BATTEN FIBER CEMENT SIDING PAINTED JACKBLACK DE6371.
- VINYL WINDOWS & DOORS MILGARD BRONZE WITH CLEAR, LOW EMISSIVITY GLAZING. FIBER CEMENT FASCIA – PAINTED LEGENDARY GREY DE6369.
- 09 STOREFRONT WITH BRAKE METAL SYSTEM WITH CLEAR, LOW EMISSIVITY GLAZING. 10
 - GRAY TPO ROOFING MEMBRANE CONTOUR RIBS 16" O.C.
- 12 CITADEL PANEL BATTLESHIP GREY.

- HORIZONTAL 4" SIDING JAMES HARDIE PEARL GRAY. BRICK PATTERN
- CITADEL PANEL CHARCOAL GREY. FIBER CEMENT PANELS, PAINTED CLASSIC WHITE DEHW08.
- BRICK BLOCK MUDDOX EBONY.
- 8" HORIZONTAL SIDING JAMES HARDIE GRAY SLATE. FIBER CEMENT FASCIA – PAINTED DANGEROUS ROBOT DE6387.
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- SCREENED HVAC EQUIPMENT. 6' TALL WOOD FENCE.
 - 6' TALL WOOD FENCE AT PROPERTY LINE.
 - SLATTED LOCKABLE TRASH ENCLOSURE DOORS FOR VISIBILITY. JAMES HARDIE FIBER CEMENT PANELS (SMOOTH) - BOOTHBAY BLUE







BUILDING B ALTERNATIVE NORTH ELEVATION -B2 - SCALE 3/32" BLDG. = 1'-0"



■ BUILDING B ALT. SOUTH ELEVATION - SCALE 3/32" = 1'-0"









■ BUILDING C NORTH ELEVATION - SCALE 3/32" = 1'-0"



■ BUILDING C SOUTH ELEVATION - SCALE 3/32" = 1'-0"

EXTERIOR ELEVATION KEYNOTES:

WHITE TPO ROOFING MEMBRANE. 01 BRICK BLOCK – MUDDOX SUMMER WHEAT. 02

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- HORIZONTAL 8" FIBER CEMENT LAP SIDING PAINTED CALIFORNIA SAGEBRUSH DET513.
- HORIZONTAL 4" SIDING JAMES HARDIE LIGHT MIST. HORIZONTAL 4" SIDING JAMES HARDIE EVENING BLUE.
- HORIZONTAL 4" SIDING JAMES HARDIE ARCTIC WHITE.
- BOARD AND BATTEN FIBER CEMENT SIDING PAINTED JACKBLACK DE6371.
- VINYL WINDOWS & DOORS MILGARD BRONZE WITH CLEAR, LOW EMISSIVITY GLAZING. FIBER CEMENT FASCIA – PAINTED LEGENDARY GREY DE6369.
- STOREFRONT WITH BRAKE METAL SYSTEM WITH CLEAR, LOW EMISSIVITY GLAZING.
- GRAY TPO ROOFING MEMBRANE CONTOUR RIBS 16" O.C.
- 12 CITADEL PANEL BATTLESHIP GREY.

- HORIZONTAL 4" SIDING JAMES HARDIE PEARL GRAY.
- BRICK PATTERN
- CITADEL PANEL CHARCOAL GREY. FIBER CEMENT PANELS, PAINTED CLASSIC WHITE DEHW08. BRICK BLOCK MUDDOX EBONY.
- 8" HORIZONTAL SIDING JAMES HARDIE GRAY SLATE.
- FIBER CEMENT FASCIA PAINTED DANGEROUS ROBOT DE6387.
- SCREENED HVAC EQUIPMENT. 20

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- 6' TALL WOOD FENCE. 6' TALL WOOD FENCE AT PROPERTY LINE. 22
 - SLATTED LOCKABLE TRASH ENCLOSURE DOORS FOR VISIBILITY.
- JAMES HARDIE FIBER CEMENT PANELS (SMOOTH) BOOTHBAY BLUE 24



BUILDING C EAST ELEVATION - SCALE 3/32" =



COMMUNITY BUILDING C - ELEVATIONS

1'-0"

■ BUILDING C WEST ELEVATION - SCALE 3/32" = 1'-0"









■ BUILDING D NORTH ELEVATION - SCALE 3/32" = 1'-0"



■ BUILDING D EAST ELEVATION - STOCKTON BLVD. - SCALE 3/32" = 1'-0"

EXTERIOR ELEVATION KEYNOTES:

WHITE TPO ROOFING MEMBRANE. 01 BRICK BLOCK – MUDDOX SUMMER WHEAT. 02

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- HORIZONTAL 8" FIBER CEMENT LAP SIDING PAINTED CALIFORNIA SAGEBRUSH DET513.
- HORIZONTAL 4" SIDING JAMES HARDIE LIGHT MIST. HORIZONTAL 4" SIDING – JAMES HARDIE – EVENING BLUE.
- HORIZONTAL 4" SIDING JAMES HARDIE ARCTIC WHITE.
- BOARD AND BATTEN FIBER CEMENT SIDING PAINTED JACKBLACK DE6371.
- VINYL WINDOWS & DOORS MILGARD BRONZE WITH CLEAR, LOW EMISSIVITY GLAZING. FIBER CEMENT FASCIA – PAINTED LEGENDARY GREY DE6369.
- STOREFRONT WITH BRAKE METAL SYSTEM WITH CLEAR, LOW EMISSIVITY GLAZING.
- GRAY TPO ROOFING MEMBRANE CONTOUR RIBS 16" O.C.
- 11 12 CITADEL PANEL – BATTLESHIP GREY.

- HORIZONTAL 4" SIDING JAMES HARDIE PEARL GRAY.
- BRICK PATTERN 14 CITADEL PANEL – CHARCOAL GREY.
- FIBER CEMENT PANELS, PAINTED CLASSIC WHITE DEHW08.
- BRICK BLOCK MUDDOX EBONY.
- 8" HORIZONTAL SIDING JAMES HARDIE GRAY SLATE. FIBER CEMENT FASCIA - PAINTED DANGEROUS ROBOT DE6387.
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- SCREENED HVAC EQUIPMENT. 20
- 6' TALL WOOD FENCE.
 6' TALL WOOD FENCE AT PROPERTY LINE.
- SLATTED LOCKABLE TRASH ENCLOSURE DOORS FOR VISIBILITY. 23 24 JAMES HARDIE FIBER CEMENT PANELS (SMOOTH) - BOOTHBAY BLUE





MIXED USE BUILDING D - ELEVATIONS









■ BUILDING D SOUTH ELEVATION - SCALE 3/32" = 1'-0"

+42'-2" T.O. PARAPET _ _ _ +34'-6 1/4" T.O. ROOF PLATE +25'-4 1/4" THIRD FLR. T.O. PLWD. +15'-1 1/4" SECOND FLR. T.O. PLWD. _____

■ BUILDING D WEST ELEVATION - SCALE 3/32" = 1'-0"

EXTERIOR ELEVATION KEYNOTES:

WHITE TPO ROOFING MEMBRANE. 01 BRICK BLOCK – MUDDOX SUMMER WHEAT. 02

03

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- HORIZONTAL 8" FIBER CEMENT LAP SIDING PAINTED CALIFORNIA SAGEBRUSH DET513.
- HORIZONTAL 4" SIDING JAMES HARDIE LIGHT MIST. HORIZONTAL 4" SIDING – JAMES HARDIE – EVENING BLUE.
- HORIZONTAL 4" SIDING JAMES HARDIE ARCTIC WHITE.
- BOARD AND BATTEN FIBER CEMENT SIDING PAINTED JACKBLACK DE6371.
- VINYL WINDOWS & DOORS MILGARD BRONZE WITH CLEAR, LOW EMISSIVITY GLAZING. FIBER CEMENT FASCIA – PAINTED LEGENDARY GREY DE6369.
- STOREFRONT WITH BRAKE METAL SYSTEM WITH CLEAR, LOW EMISSIVITY GLAZING.
- GRAY TPO ROOFING MEMBRANE CONTOUR RIBS 16" O.C.
- 11 12 CITADEL PANEL – BATTLESHIP GREY.

- HORIZONTAL 4" SIDING JAMES HARDIE PEARL GRAY.
- BRICK PATTERN CITADEL PANEL – CHARCOAL GREY.
- FIBER CEMENT PANELS, PAINTED CLASSIC WHITE DEHW08.
- BRICK BLOCK MUDDOX EBONY.
- 8" HORIZONTAL SIDING JAMES HARDIE GRAY SLATE. FIBER CEMENT FASCIA – PAINTED DANGEROUS ROBOT DE6387.

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- SCREENED HVAC EQUIPMENT.
- 6' TALL WOOD FENCE. 6' TALL WOOD FENCE AT PROPERTY LINE.
- SLATTED LOCKABLE TRASH ENCLOSURE DOORS FOR VISIBILITY. JAMES HARDIE FIBER CEMENT PANELS (SMOOTH) - BOOTHBAY BLUE

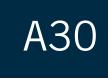


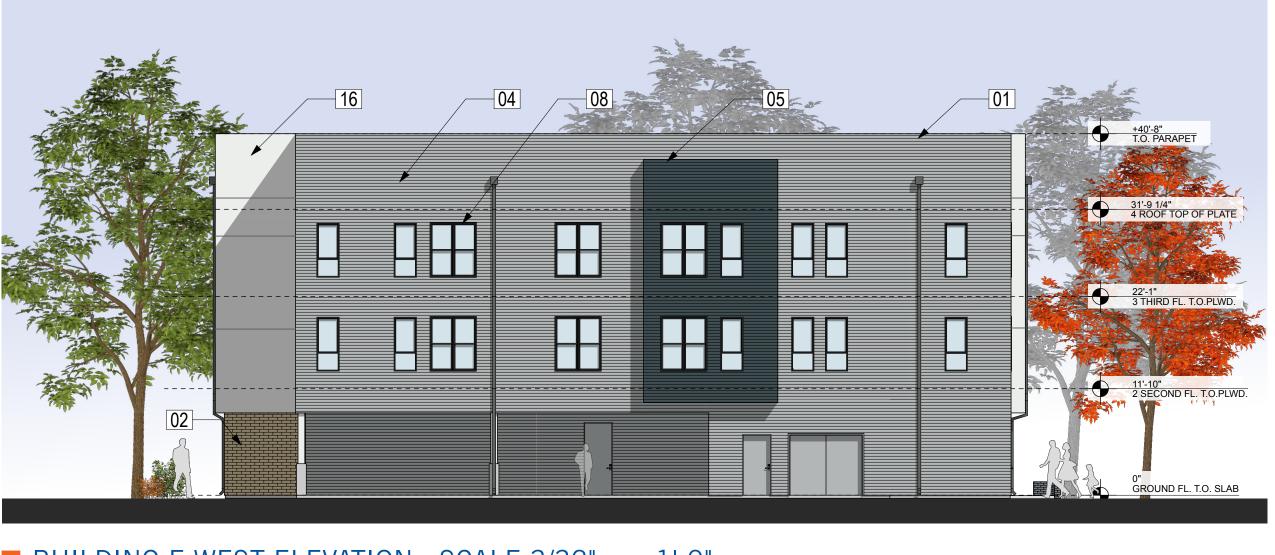


MIXED USE BUILDING D - ELEVATIONS









■ BUILDING E WEST ELEVATION - SCALE 3/32" = 1'-0"



■ BUILDING E EAST ELEVATION - SCALE 3/32" = 1'-0"

EXTERIOR ELEVATION KEYNOTES:

WHITE TPO ROOFING MEMBRANE. 01 BRICK BLOCK – MUDDOX SUMMER WHEAT. 02

03

04

08

11

- HORIZONTAL 8" FIBER CEMENT LAP SIDING PAINTED CALIFORNIA SAGEBRUSH DET513.
- HORIZONTAL 4" SIDING JAMES HARDIE LIGHT MIST. HORIZONTAL 4" SIDING JAMES HARDIE EVENING BLUE.
- HORIZONTAL 4" SIDING JAMES HARDIE ARCTIC WHITE.
- BOARD AND BATTEN FIBER CEMENT SIDING PAINTED JACKBLACK DE6371.
- VINYL WINDOWS & DOORS MILGARD BRONZE WITH CLEAR, LOW EMISSIVITY GLAZING. FIBER CEMENT FASCIA – PAINTED LEGENDARY GREY DE6369.
- 09 STOREFRONT WITH BRAKE METAL SYSTEM WITH CLEAR, LOW EMISSIVITY GLAZING. 10
 - GRAY TPO ROOFING MEMBRANE CONTOUR RIBS 16" O.C.
- 12 CITADEL PANEL BATTLESHIP GREY.

- HORIZONTAL 4" SIDING JAMES HARDIE PEARL GRAY.
- BRICK PATTERN 14
- CITADEL PANEL CHARCOAL GREY. FIBER CEMENT PANELS, PAINTED CLASSIC WHITE DEHW08.
- BRICK BLOCK MUDDOX EBONY.
- 8" HORIZONTAL SIDING JAMES HARDIE GRAY SLATE. FIBER CEMENT FASCIA – PAINTED DANGEROUS ROBOT DE6387.
- 19 20

13

15

23

- SCREENED HVAC EQUIPMENT. 21
- 6' TALL WOOD FENCE. 6' TALL WOOD FENCE AT PROPERTY LINE. 22
- SLATTED LOCKABLE TRASH ENCLOSURE DOORS FOR VISIBILITY. JAMES HARDIE FIBER CEMENT PANELS (SMOOTH) - BOOTHBAY BLUE 24



The state 40'-8" T.O. PARAPET - - - - / 31'-9 1/4" 4 ROOF TOP OF PLATE H THIRD FL. T.O.PLWD. 2 SECOND FL. T.O.PLWD GROUND FL. T.O. SLAB



RESIDENTIAL BUILDING E - ELEVATIONS

■ BUILDING E SOUTH ELEVATION - SCALE 3/32" = 1'-0"

■ BUILDING E NORTH ELEVATION - SCALE 3/32" = 1'-0"









STOCKTON BLVD ELEVATION - N.T.S.



■ YOUNG STREET ELEVATION - N.T.S.

STREET ELEVATIONS









COMPOSITE SOUTH ELEVATION (BLDGS A1-A8) - SCALE 1:250



COMPOSITE SOUTH ELEVATION (BLDGS A1-A8) - SCALE 1:250

San Juan Apartments











San Juan Apartments

VINYL WINDOWS & DOORS – MILGARD BRONZE WITH CLEAR, LOW EMISSIVITY GLAZING.

STOREFRONT WITH BRAKE METAL SYSTEM WITH CLEAR, LOW EMISSIVITY GLAZING.

EXTERIOR ELEVATION KEYNOTES:

_ _ _ _ _ _ _ _ _ _ _ _ _ _ _ _

GROUND FLOOR PLAN

01

CITADEL PANEL – BATTLESHIP GREY.

07

08

09

11

12

02 HORIZONTAL 8" FIBER CEMENT LAP SIDING – PAINTED CALIFORNIA SAGEBRUSH DET513.

BOARD AND BATTEN FIBER CEMENT SIDING - PAINTED JACKBLACK DE6371.

DESIGNED TO COMPLY WITH COUNTY SWQ STANDARDS

RECYCLING

DESIGNED TO COMPLY WITH COUNTY SWQ STANDARDS

28'

GROUND FLOOR PLAN

FLOOR_ DRAIN

GROUND FLOOR PLAN

6" FRONT

FRONT

FRONT

FRONT

HORIZONTAL 4" SIDING – JAMES HARDIE – PEARL GRAY.

FIBER CEMENT PANELS, PAINTED CLASSIC WHITE DEHW08.

8" HORIZONTAL SIDING JAMES HARDIE – GRAY SLATE. FIBER CEMENT FASCIA – PAINTED DANGEROUS ROBOT DE6387.

6' TALL WOOD FENCE AT PROPERTY LINE. SLATTED LOCKABLE TRASH ENCLOSURE DOORS FOR VISIBILITY.

JAMES HARDIE FIBER CEMENT PANELS (SMOOTH) - BOOTHBAY BLUE

CITADEL PANEL – CHARCOAL GREY.

BRICK BLOCK – MUDDOX EBONY.

SCREENED HVAC EQUIPMENT.

6' TALL WOOD FENCE.

г — — -

13

15

24

BRICK PATTERN

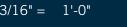
- HORIZONTAL 4" SIDING JAMES HARDIE LIGHT MIST.
- 05
- HORIZONTAL 4" SIDING JAMES HARDIE EVENING BLUE. 06 HORIZONTAL 4" SIDING – JAMES HARDIE - ARCTIC WHITE.
- 03 04

- WHITE TPO ROOFING MEMBRANE. BRICK BLOCK MUDDOX SUMMER WHEAT.

FIBER CEMENT FASCIA – PAINTED LEGENDARY GREY DE6369.

GRAY TPO ROOFING MEMBRANE CONTOUR RIBS 16" O.C.





REAR



LEFT







LEFT

LEFT





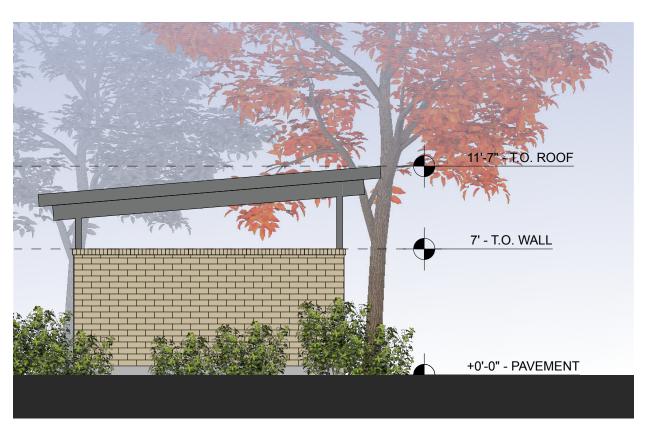


" - T.O. ROOF

7' - T.O WALL

+0'-0" - PAVEMENT





RIGHT

TRASH ENCLOSURE ELEVATIONS FOR FRONT ACCESS SCALE 3/16" = 1'-0"

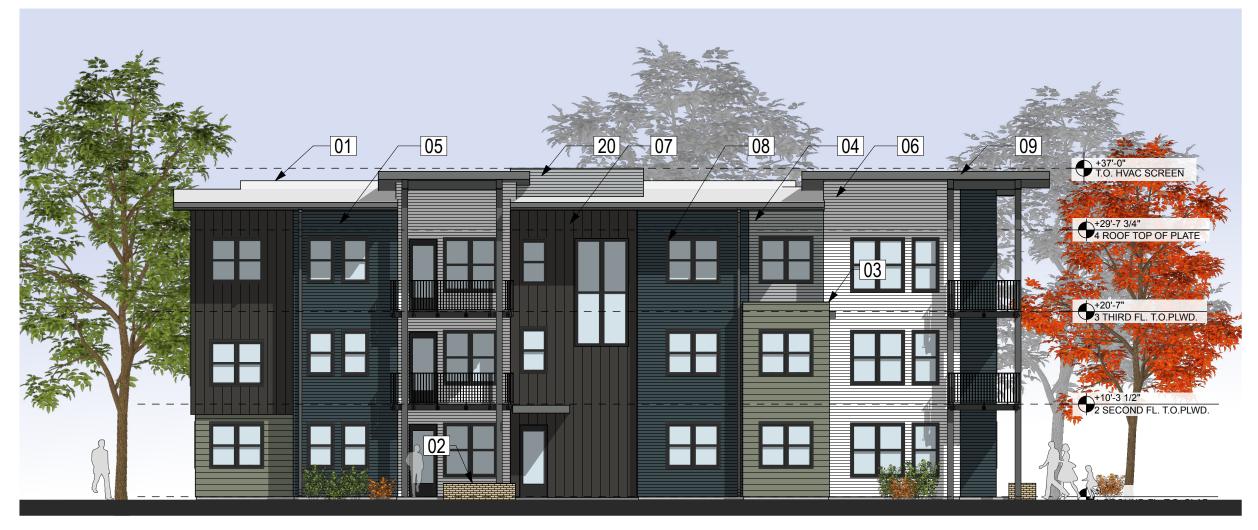
TRASH ENCLOSURE ELEVATIONS FOR SIDE ACCESS SCALE 3/16" = 1'-0"

> RIGHT POOL BUILDING SCALE $3/16" = 1'-0" \frac{0}{4} \frac{4}{8} \frac{8}{12}$









RESIDENTIAL BUILDINGS A AND B



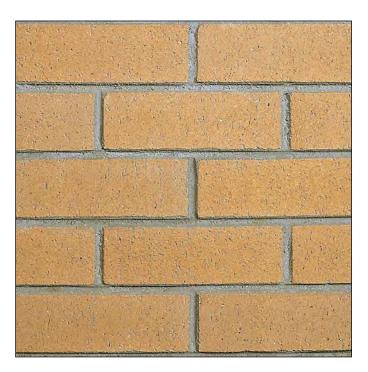
01 WHITE TPO ROOFING MEMBRANE



04 HORIZONTAL 4" SIDING JAMES HARDIE - LIGHT MIST



07 BOARD & BATTEN FIBER CEMENT SIDING, PAINTED JACKBLACK DE6371



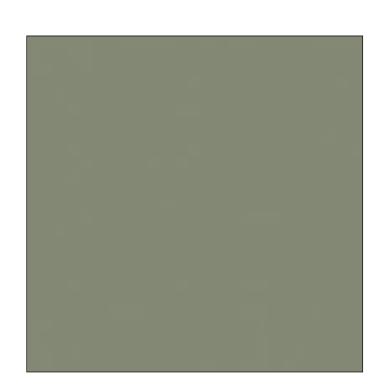
02 BRICK BLOCK- MUDDOX SUMMER WHEAT 03 (AT GROUND FLOOR PATIO WALLS)



05 HORIZONTAL 4" SIDING JAMES HARDIE - EVENING BLUE



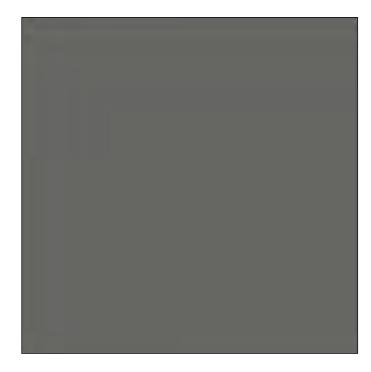
08 VINYL WINDOWS & DOORS MILGARD BRONZE



HORIZONTAL 8" FIBER CEMENT SIDING - PAINTED DET513 -CALIFORNIA SAGEBRUSH



06 HORIZONTAL 4" SIDING JAMES HARDIE - ARTIC WHITE



09 CEMENT PLASTER FASCIA, PAINTED LEGENDARY GREY DE6369



RESIDENTIAL BUILDING E ON STOCKTON BLVD. EAST ELEVATION



02 BRICK BLOCK- MUDDOX SUMMER WHEAT



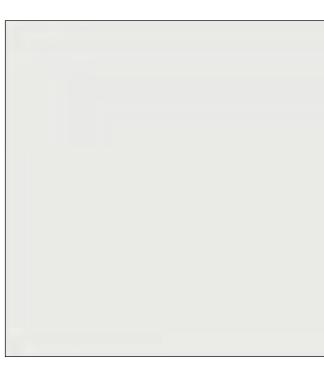
24 JAMES HARDIE FIBER CEMENT PANELS (SMOOTH) - BOOTHBAY BLUE



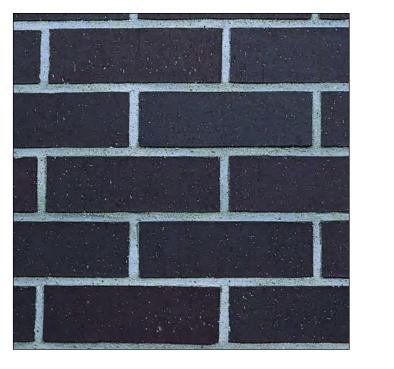
06 HORIZONTAL 4" SIDING JAMES HARDIE - LIGHT MIST



10 GLASS STOREFRONT WITH BRAKE METAL SYSTEM

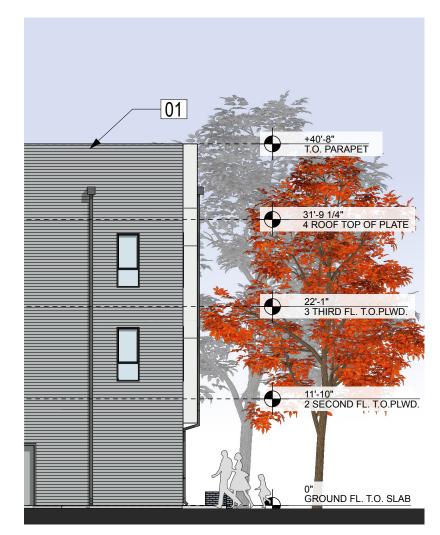


16 FIBER CEMENT PANELS, PAINTED CLASSIC WHITE DEHW08



17 BRICK BLOCK- MUDDOX EBONY (AT GROUND FLOOR PATIO WALLS)

MATERIAL AND COLOR BOARD



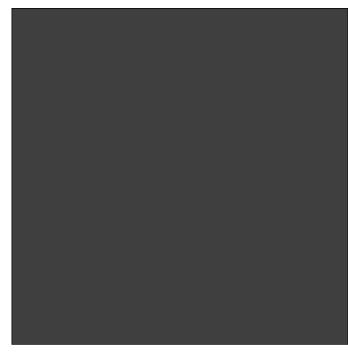
PART OF WEST ELEVATION



01 WHITE TPO ROOFING MEMBRANE



HORIZONTAL 4" SIDING 05 JAMES HARDIE - EVENING BLUE



08 VINYL WINDOWS & DOORS MILGARD BRONZE

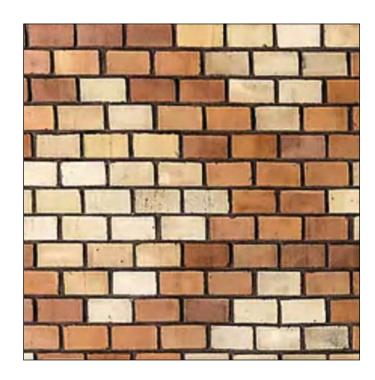








MIXED USE BUILDING D



14 BRICK PATTERN



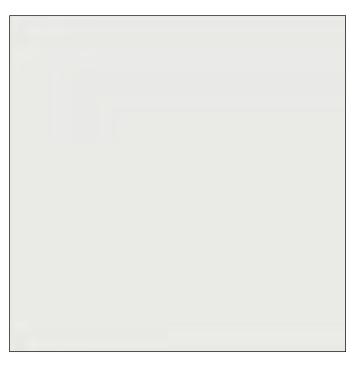
15 CITADEL PANEL CHARCOAL GREY



06 HORIZONTAL 4" SIDING JAMES HARDIE - ARTIC WHITE



10 GLASS STOREFRONT WITH BRAKE METAL SYSTEM



16 FIBER CEMENT PANELS, PAINTED CLASSIC WHITE DEHW08



17 BRICK BLOCK- MUDDOX EBONY (AT GROUND FLOOR PATIO WALLS)







San Juan Apartments

MATERIAL AND COLOR BOARD

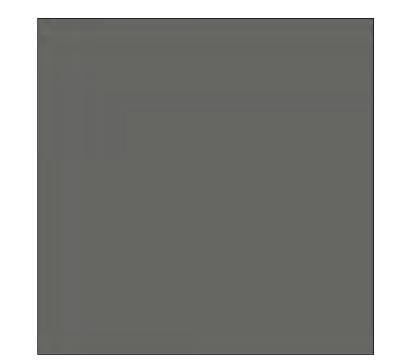
08 VINYL WINDOWS & DOORS MILGARD BRONZE



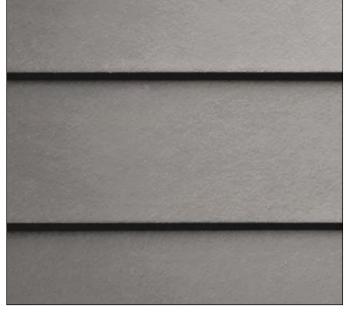
05 HORIZONTAL 4" SIDING

01 WHITE TPO ROOFING MEMBRANE

09 FIBER CEMENT FASCIA, PAINTED LEGENDARY GREY DE6369



13 HORIZONTAL 4" SIDING JAMES HARDIE - PEARL GRAY



10 GLASS STOREFRONT WITH BRAKE METAL SYSTEM







COMMUNITY CENTER BUILDING C



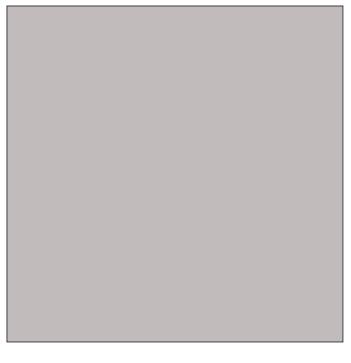
[11] GRAY TPO ROOFING MEMBRANE CONTOUR RIBS 16" O.C.



05 HORIZONTAL 4" SIDING JAMES HARDIE - EVENING BLUE



08 VINYL WINDOWS & DOORS MILGARD BRONZE



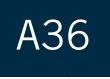
12 CITADEL PANEL BATTLESHIP GREY



06 HORIZONTAL 4" SIDING JAMES HARDIE - ARTIC WHITE





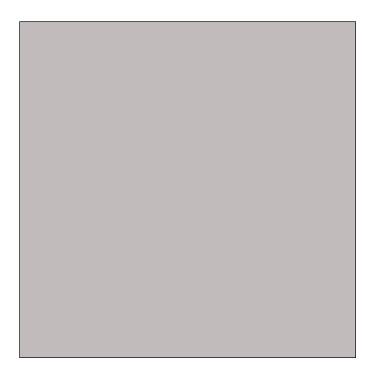




TRASH ENCLOSURE



02 BRICK BLOCK- MUDDOX SUMMER WHEAT 09 FIBER CEMENT FASCIA, PAINTED (AT GROUND FLOOR PATIO WALLS)

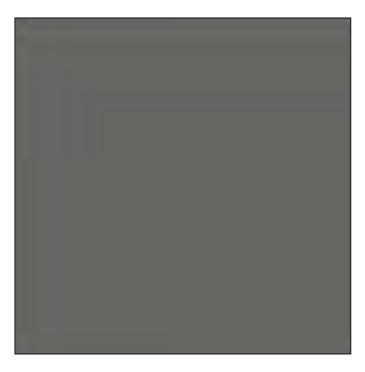


12 CITADEL PANEL BATTLESHIP GREY





POOL EQUIPMENT & RESTROOMS BLDG.



LEGENDARY GREY DE6369



17 BRICK BLOCK- MUDDOX EBONY (AT GROUND FLOOR PATIO WALLS)



[1] GRAY TPO ROOFING MEMBRANE CONTOUR RIBS 16" O.C.

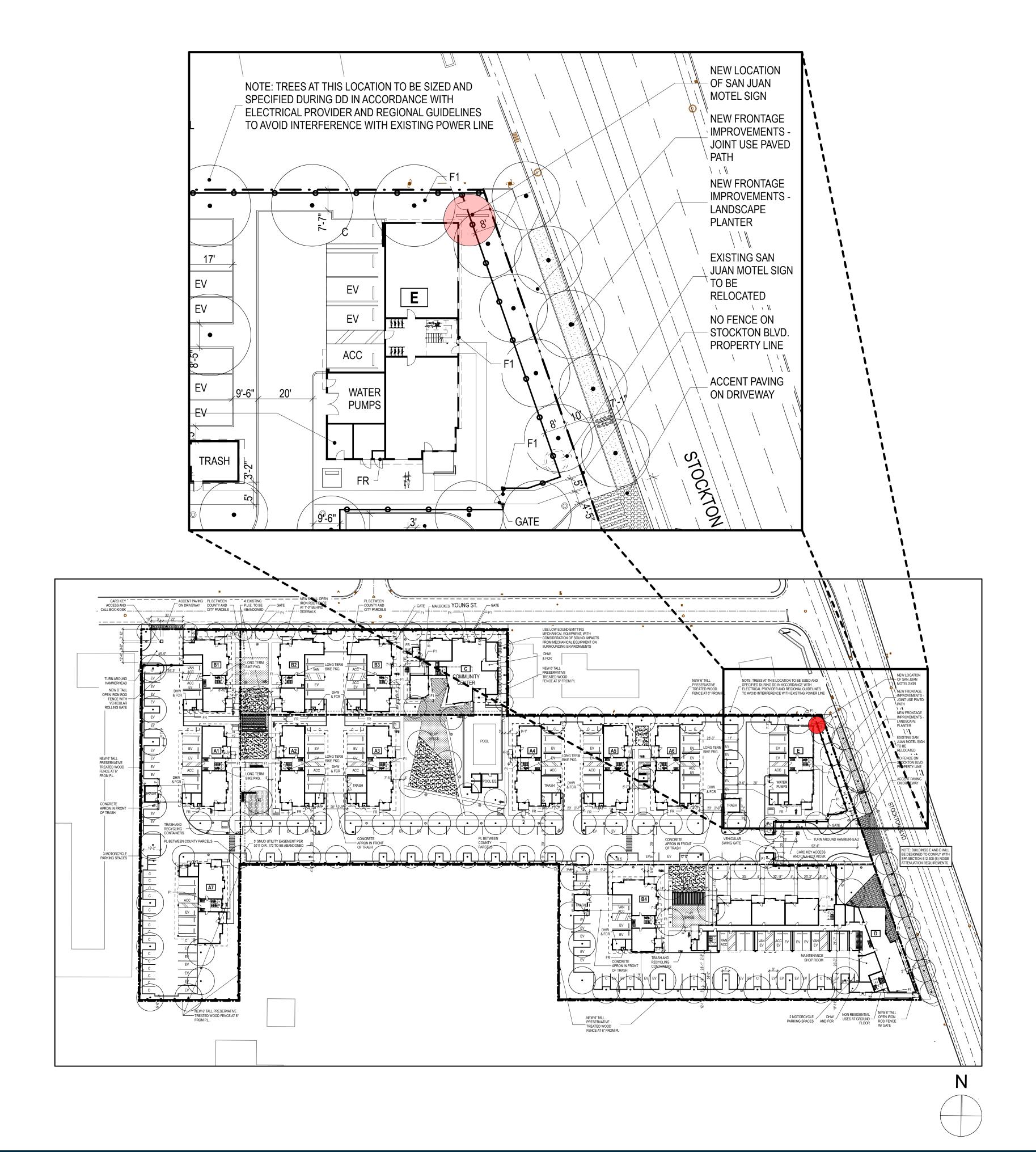


08 VINYL WINDOWS & DOORS MILGARD BRONZE

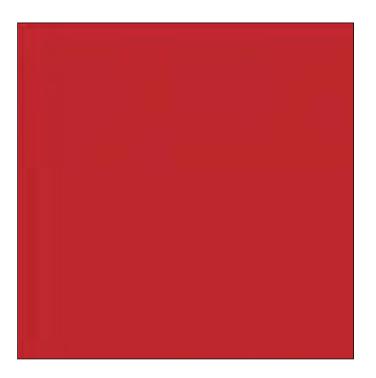




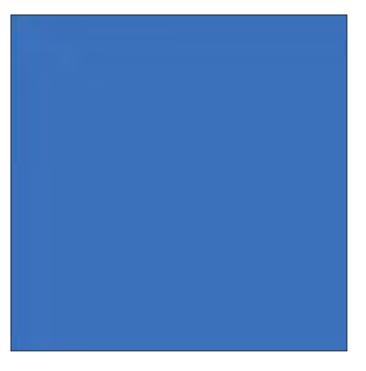




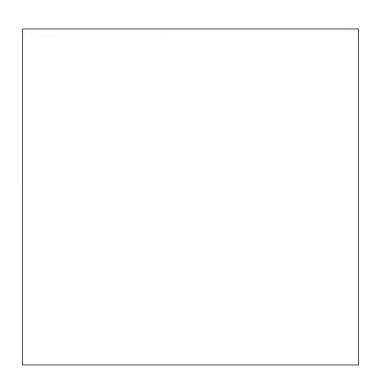




01 DUNN EDWARDS - HEART THROB DET412



02 DUNN EDWARDS - SAFE HARBOR DE5865



03 DUNN EDWARDS - WARM WHITE DEW380





